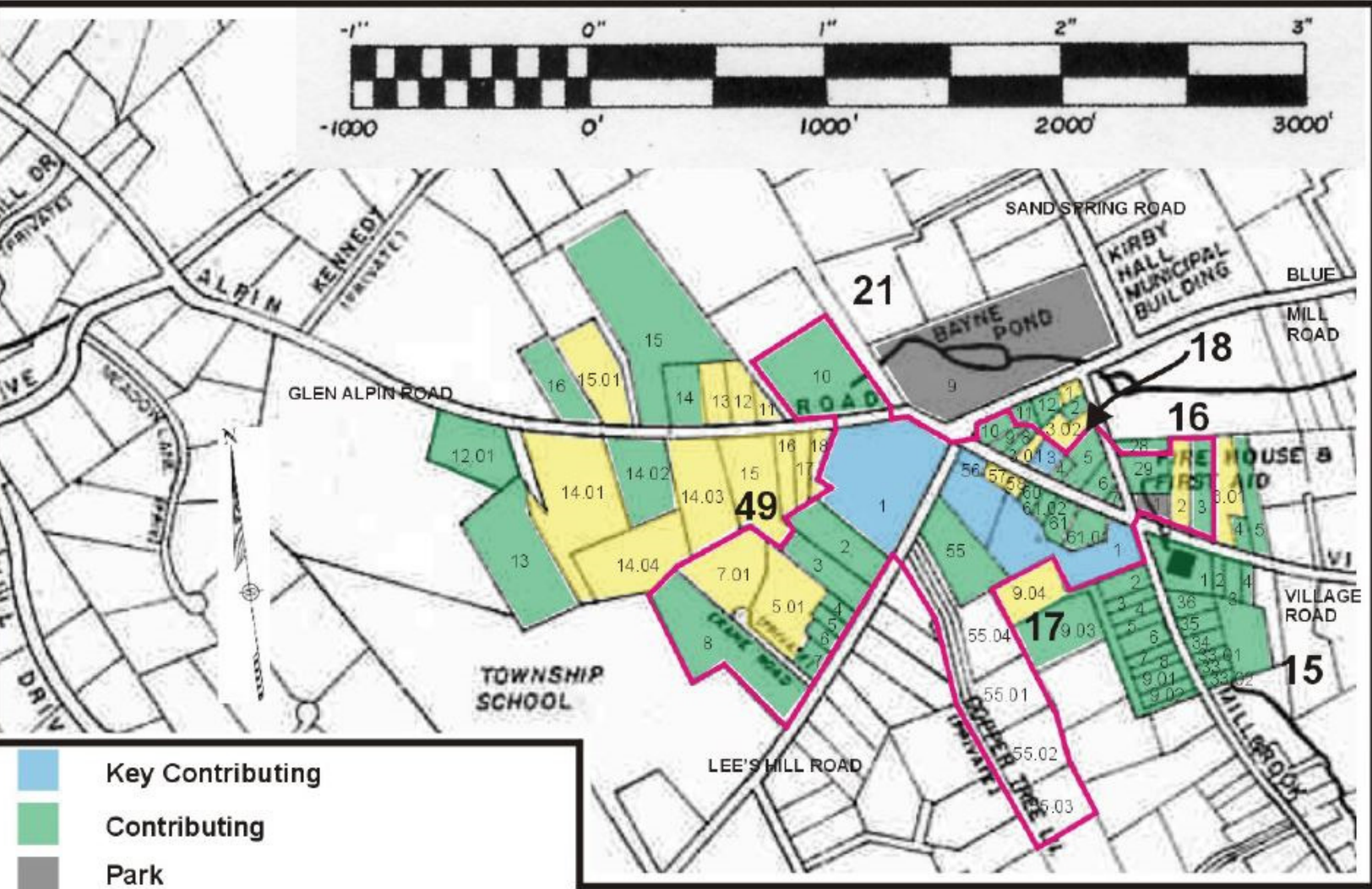


Harding Township  
New Vernon Historic District



PROPERTY OWNERS WITHIN 200 FT. OF SUBJECT PROPERTY

BLOCK 18 LOT 5, IN THE TOWNSHIP OF HARDING, MORRIS COUNTY NEW JERSEY  
BASED ON A CERTIFIED LIST PREPARED BY THE HARDING TOWNSHIP TAX ASSESSOR ON NOVEMBER 1, 2023.

| BLOCK | LOT   | LOCATION          | NAME & ADDRESS   |
|-------|-------|-------------------|--|
| 16    | 27    | 16 BLUE MILL ROAD | CHURCH OF CHRIST THE KING, BLUE MILL ROAD BOX 368 NEW VERNON, NJ, 07976    |
| 16    | 28    | 9 BLUE MILL ROAD  | CHURCH OF CHRIST THE KING, BLUE MILL ROAD BOX 368 NEW VERNON, NJ, 07976    |
| 16    | 29    | 11 MILLBROOK ROAD | WILD, BRUCE E., 11 MILLBROOK ROAD NEW VERNON, NJ, 07976                    |
| 17    | 1     | 8 MILLBROOK ROAD  | HARDING, TOWNSHIP OF, PO BOX 666 NEW VERNON, NJ, 07976                     |
| 17    | 58    | 6 VILLAGE ROAD    | BAROOSHIAN, HELEN, PO BOX 197 NEW VERNON, NJ, 07976                        |
| 17    | 60    | 8 VILLAGE ROAD    | RUEGG, THOMAS, PO BOX 957 NEW VERNON, NJ, 07976                            |
| 17    | 61    | 12 VILLAGE ROAD   | HARDING OWL, LLC, 22 GREEN KNOLLS RD, MORRISTOWN, NJ, 07960                |
| 17    | 61.01 | 14 VILLAGE ROAD   | GAVRYLAK, OREST/SHKODINA, DIANA, 14 VILLAGE ROAD NEW VERNON, NJ, 07976     |
| 17    | 61.02 | 10 VILLAGE ROAD   | PAGE, DENNIS S., 10 VILLAGE ROAD BOX 306 NEW VERNON, NJ, 07976             |
| 18    | 1     | 12 BLUE MILL ROAD | LOVETT, DANA, 12 BLUE MILL ROAD NEW VERNON, NJ, 07976                      |
| 18    | 12    | 10 BLUE MILL ROAD | DUGAN, JOHN L & BARBARA D, BLUE MILL ROAD PO BOX 851 NEW VERNON, NJ, 07976 |
| 18    | 2     | 2 MILLBROOK ROAD  | WECKENMAN, JOAN, 2 MILLBROOK ROAD PO BOX 564 NEW VERNON, NJ, 07976         |
| 18    | 3     | 9 VILLAGE ROAD    | WENTZ, BRENT/LESLIE, PO BOX 154 NEW VERNON, NJ, 07976                      |
| 18    | 3.01  | 7 VILLAGE ROAD    | O'CONNOR, MICHAEL, PO BOX 100 NEW VERNON, NJ, 07976                        |
| 18    | 3.02  | 4 MILLBROOK ROAD  | PISCOPO, GERALD/CHERYL, 312 SKYLINE LAKES DR., RINGWOOD, NJ, 07456         |
| 18    | 4     | 11 VILLAGE ROAD   | TUSINAC, MICHAEL/THOMAS, 11 VILLAGE ROAD NEW VERNON, NJ, 07976             |
| 18    | 5     | 15 VILLAGE ROAD   | 15 VILLAGE ROAD LLC, 1625 ROUTE 10 MORRIS PLAINS, NJ, 07950                |
| 18    | 6     | 17 VILLAGE ROAD   | GREAT BROOK PROPERTIES LLC, 17 VILLAGE ROAD NEW VERNON, NJ, 07976          |
| 18    | 7     | 19 VILLAGE ROAD   | MONDELLO, ISABEL C., 131 LAKE RD, MORRISTOWN, NJ, 07960                    |

NJ AMERICAN WATER COMPANY / NORTHERN DIVISION  
Mr. D L CONYERS, DIVISION MANAGER  
167 JFK PARKWAY  
SHORT HILLS, NJ 07078

THE SOUTHEAST MORRIS COUNTY MUNICIPAL UTIL AUTHORITY  
HARRY G. GERKEN, EXECUTIVE DIRECTOR  
19 SADDLE ROAD  
CEDAR KNOLLS, NJ 07927

TEXAS EASTERN TRANSMISSION CORP  
MANAGE, PROPERTY TAX  
PO BOX 1642  
HOUSTON, TX 77251-1642

PUBLIC SERVICE ELECTRIC AND GAS CO.  
MANAGER, CORPORATE PROPERTIES  
80 PARK PLAZA, 6th  
NEWARK, NJ 07102

COMCAST CORPORATION  
100 RANDOLPH ROAD  
SOMERSET, NJ 08873

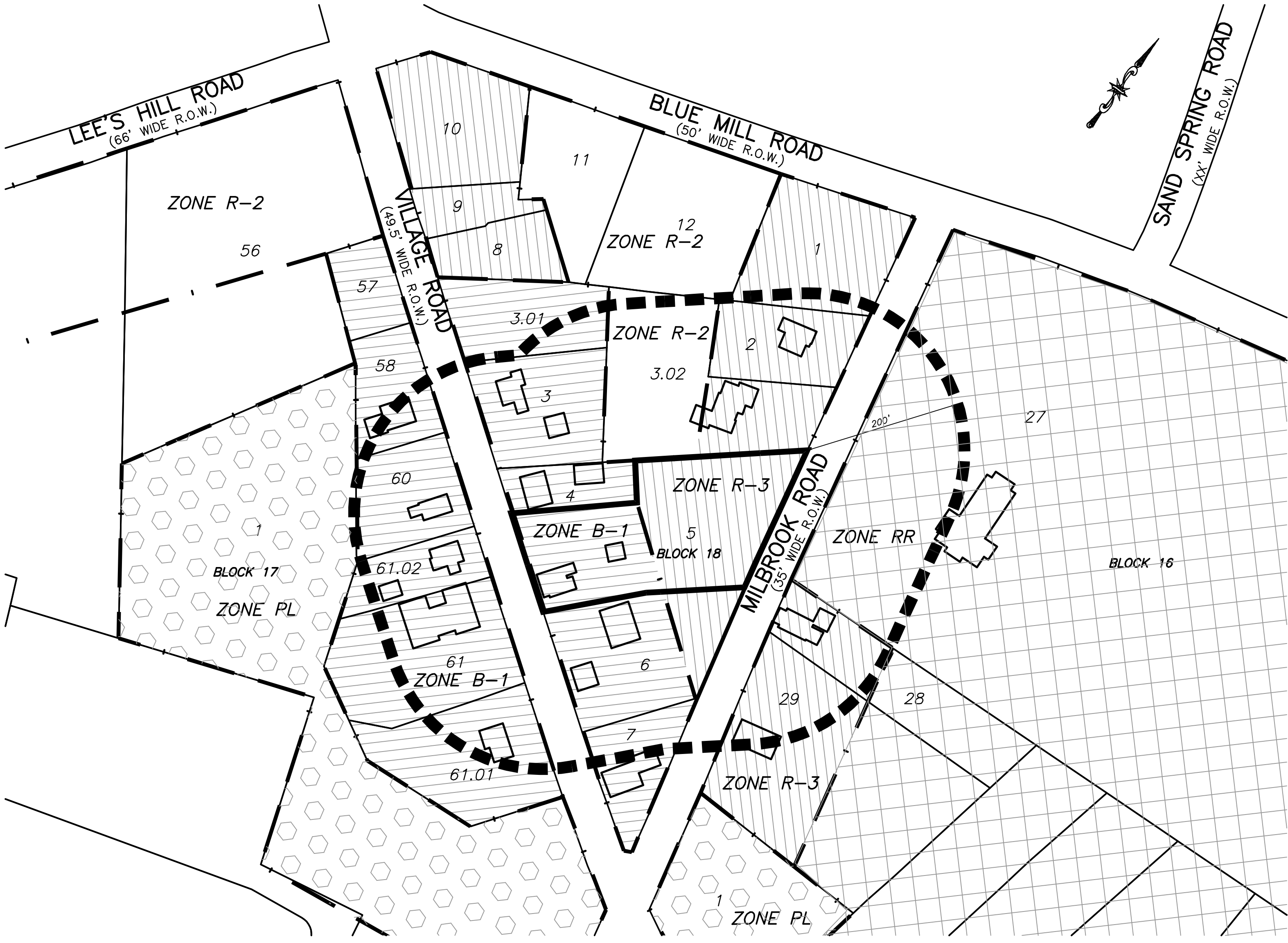
MORRIS COUNTY PLANNING BOARD  
COURT HOUSE, C4900  
MORRISTOWN, NJ 07960-0900

THESE SITE PLANS HAVE BEEN APPROVED BY THE  
BOARD OF ADJUSTMENT OF THE TOWNSHIP OF HARDING  
ON

DATE  
CHAIRMAN DATE  
SECRETARY DATE  
TOWNSHIP ENGINEER DATE

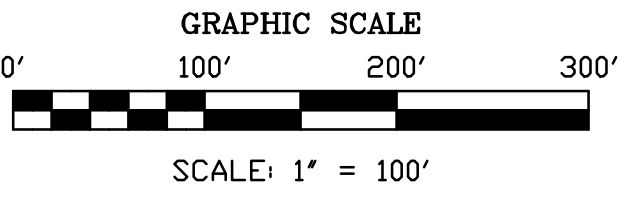
AREA MAP NOTES:  
1. SUBJECT PROPERTY IS KNOWN AS LOT 5, BLOCK 18 AS SHOWN ON THE  
HARDING TOWNSHIP TAX MAP SHEET No. 10.  
2. FEATURES AS SHOWN ON ADJACENT LOTS TAKEN FROM NUDGEWEB AERIAL PHOTOGRAPH.  
3. THE SUBJECT PROPERTY IS LOCATED WITHIN THE NJDEP HIGHLANDS PLANNING AREA.

15 VILLAGE ROAD LLC PROJECT  
PRELIMINARY & FINAL MAJOR SITE PLANS  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING, MORRIS COUNTY, NEW JERSEY



ZONE LEGEND

|                        |  |
|------------------------|--|
| B-1 (BUSINESS ZONE)    |  |
| PL (PUBLIC LANDS ZONE) |  |
| R-2 (RESIDENTIAL ZONE) |  |
| R-3 (RESIDENTIAL ZONE) |  |
| R-R (RESIDENTIAL ZONE) |  |



APPLICANT/OWNER

15 VILLAGE ROAD LLC C/O  
MARK CALABRO  
1625 ROUTE 10  
MORRIS PLAINS, NJ 07950  
973-490-8206

ARCHITECT

WILLIAM BYRNE, RA  
BYRNE DESIGN ASSOCIATES, LLC  
10 MAIN STREET  
CHESTER, NJ 07930  
908-879-0996

PLANNER/LANDSCAPE ARCHITECT

JOHN MCDONOUGH, L.A.P.P., AICP  
JOHN MCDONOUGH ASSOCIATES, LLC  
101 GIBBALTAR DRIVE, SUITE 1A  
MORRIS PLAINS, NJ 07950  
973-222-6011

ATTORNEY

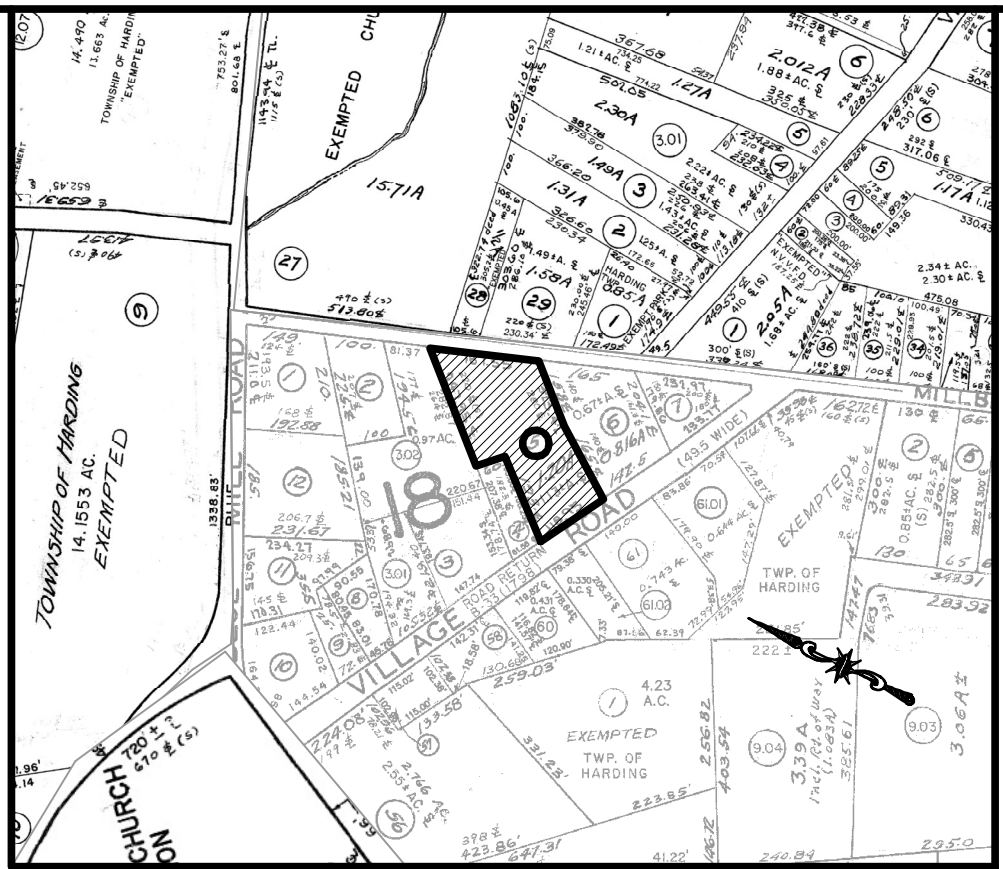
THOMAS MALMAN, ESQ.  
DAY PITNEY LLP  
ONE JEFFERSON AVENUE  
PARLIPPANY, NJ 07074  
973-996-8179

SITE ENGINEER

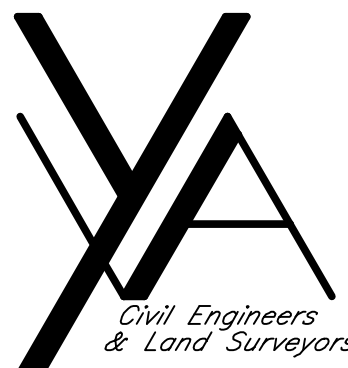
RYAN SMITH, NLP & PLS  
YANNACCONE, VILLA & ALDRICH, LLC  
460 MAIN STREET  
CHESTER, NJ 07930  
908-879-6646

ENVIRONMENTAL CONSULTANT

DAVID KRUEGER  
ENVIRONMENTAL TECHNOLOGY, INC  
P.O. BOX 50  
CHESTER, NJ 07930  
908-879-8509



KEY MAP  
TOWNSHIP OF HARDING  
NOT TO SCALE



YANNACCONE  
VILLA  
& ALDRICH, LLC

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 246A27934500

3/4/24  
DATE: 3/4/24  
RYAN L. SMITH  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

| NO. | DATE   | REVISION                  |
|-----|--------|---------------------------|
| 1   | 3/4/24 | REV. PER TWP. ENG. REVIEW |

PROJECT TITLE :

15 VILLAGE ROAD  
LLC  
PROJECT  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :

TITLE SHEET

DRAWN BY: CF DATE: 11/9/23

CHECKED BY: RLS SCALE: 1"=100'

W.O. 220159

F.B.

FILE:

FILE PATH: M:\SEPTIC\DATA\220000\220159

FILE NAME: 220159-SITEPLAN-TITLE\_REV1.DWG



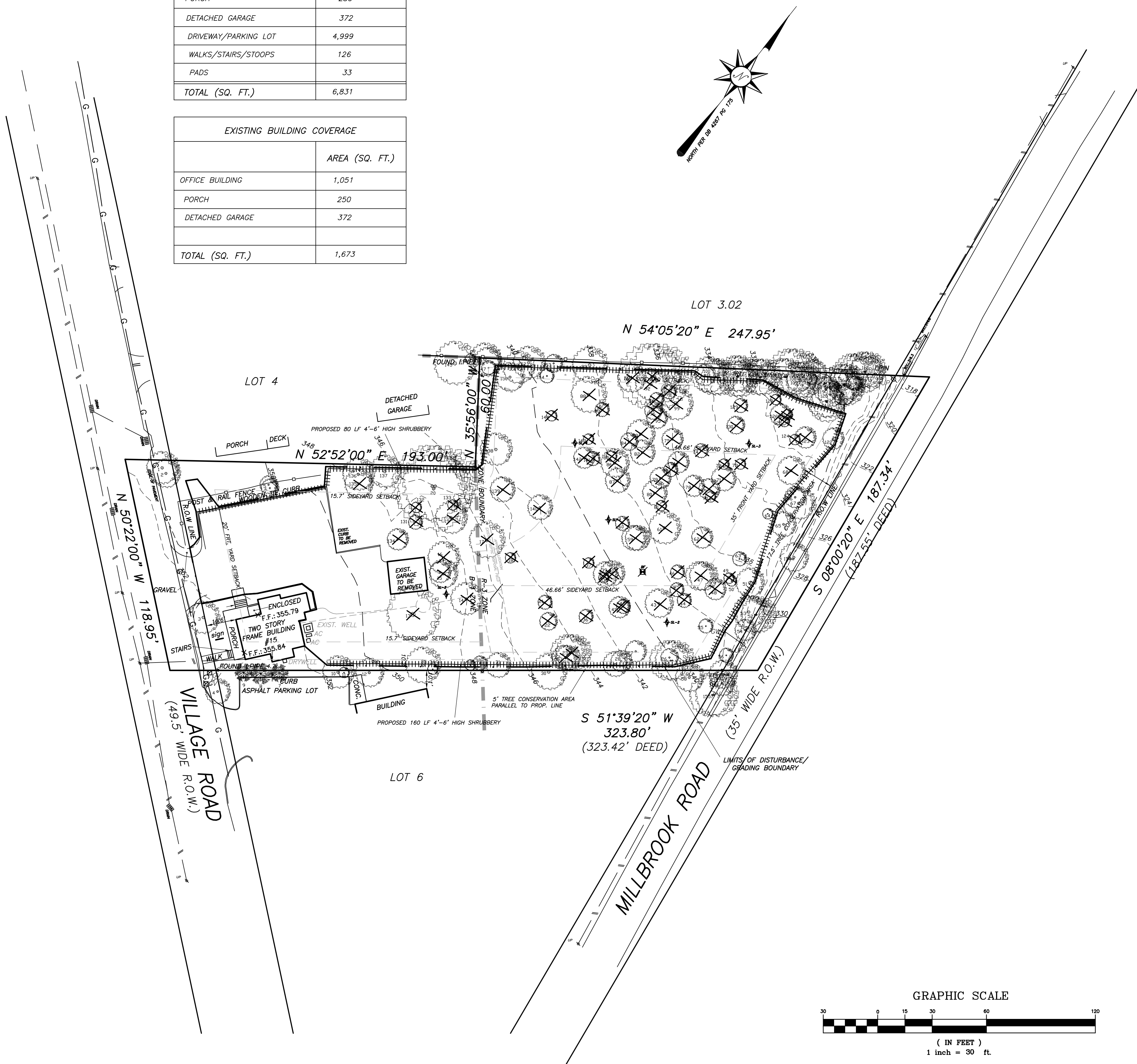
# MASTER TREE SCHEDULE

|     |                        |
|-----|------------------------|
| 1   | 18" MAPLE              |
| 2   | 18" MAPLE              |
| 3   | 18" TREE               |
| 4   | 14" TREE               |
| 5   | 10" MAPLE              |
| 6   | 10" CRAB APPLE         |
| 7   | 10" CEDAR              |
| 8   | TRIPLE 12" CEDAR       |
| 9   | TRIPLE 10" CEDAR       |
| 10  | 18" MAPLE              |
| 11  | 6" MAPLE               |
| 12  | 18" MAPLE              |
| 13  | 30" MAPLE              |
| 14  | 18" MAPLE              |
| 15  | 18" LOCUST             |
| 16  | 18" MAPLE              |
| 17  | 20" MAPLE              |
| 18  | 6" MAPLE               |
| 19  | 18" WILLOW             |
| 20  | TRIPLE 42" MAPLE       |
| 21  | 6" MAPLE               |
| 22  | 10" LOCUST             |
| 23  | TWIN 20" MAPLE         |
| 24  | TWIN 14" ASH (DEAD)    |
| 25  | TWIN 22" MAPLE         |
| 26  | 10" MAPLE              |
| 27  | 12" MAPLE              |
| 28  | 12" MAPLE              |
| 29  | 14" CHERRY             |
| 30  | 20" MAPLE              |
| 31  | 14" MAPLE              |
| 32  | 8" MAPLE               |
| 33  | 6" MAPLE               |
| 34  | 6" MAPLE               |
| 35  | 20" MAPLE              |
| 36  | 8" MAPLE               |
| 37  | 6" MAPLE               |
| 38  | 6" MAPLE               |
| 39  | 14" LOCUST             |
| 40  | 12" LOCUST             |
| 41  | 12" LOCUST             |
| 42  | 8" LOCUST              |
| 43  | 16" ASH (DEAD)         |
| 44  | 8" WALNUT              |
| 45  | 8" MAPLE               |
| 46  | 8" MAPLE               |
| 47  | TWIN 16" CHERRY        |
| 48  | 12" OAK                |
| 49  | 6" OAK                 |
| 50  | 6" OAK                 |
| 51  | 16" OAK                |
| 52  | TWIN 20" MAPLE         |
| 53  | 18" MAPLE              |
| 54  | 12" OAK                |
| 55  | 6" OAK                 |
| 56  | 8" MAPLE               |
| 57  | 16" MAPLE              |
| 58  | 16" MAPLE              |
| 59  | TWIN 14" MAPLE         |
| 60  | 8" MAPLE               |
| 61  | 18" MAPLE              |
| 62  | 12" MAPLE              |
| 63  | 8" OAK                 |
| 64  | 6" OAK                 |
| 65  | 14" WALNUT             |
| 66  | 12" WALNUT             |
| 67  | 18" ASH (DYING)        |
| 68  | 16" WALNUT             |
| 69  | 12" MAPLE              |
| 70  | 6" MAPLE               |
| 71  | 14" MAPLE              |
| 72  | 6" MAPLE               |
| 73  | 6" MAPLE               |
| 74  | 8" MAPLE               |
| 75  | 12" LOCUST             |
| 76  | 12" LOCUST             |
| 77  | 8" EM                  |
| 78  | 12" MAPLE              |
| 79  | 12" LOCUST             |
| 80  | 14" MAPLE              |
| 81  | 6" ASH                 |
| 82  | 14" LOCUST             |
| 83  | 16" LOCUST             |
| 84  | 10" LOCUST             |
| 85  | 6" LOCUST              |
| 86  | 16" LOCUST             |
| 87  | 14" MAPLE              |
| 88  | 20" LOCUST             |
| 89  | 20" MAPLE              |
| 90  | 8" CHERRY              |
| 91  | 16" MAPLE              |
| 92  | 18" LOCUST             |
| 93  | TWIN 36" ASH (DYING)   |
| 94  | 8" LOCUST              |
| 95  | 12" LOCUST             |
| 96  | 10" MAPLE              |
| 97  | 8" MAPLE               |
| 98  | 8" LOCUST              |
| 99  | 18" LOCUST             |
| 100 | 12" MAPLE              |
| 101 | 20" MAPLE              |
| 102 | TWIN 20" MAPLE         |
| 103 | 10" CHERRY             |
| 104 | TWIN 20" CHERRY        |
| 105 | TWIN 20" ASH (DEAD)    |
| 106 | TWIN 26" MAPLE         |
| 107 | 14" ASH (DYING)        |
| 108 | TWIN 20" MAPLE         |
| 109 | 6" ASH (DEAD)          |
| 110 | 14" ASH (DEAD)         |
| 111 | TRIPLE 20" ASH (DEAD)  |
| 112 | TWIN 20" ASH (DEAD)    |
| 113 | TWIN 8" ASH (DEAD)     |
| 114 | QUAD 20" ASH (DEAD)    |
| 115 | 10" ASH (DEAD)         |
| 116 | 12" ASH (DEAD)         |
| 117 | 14" ASH (DEAD)         |
| 118 | 14" ASH (DYING)        |
| 119 | TRIPLE 20" ASH (DYING) |
| 120 | 12" MAPLE              |
| 121 | 12" MAPLE              |
| 122 | 12" ASH (DYING)        |
| 123 | 8" WALNUT              |
| 124 | 6" CHERRY              |
| 125 | 12" OAK                |
| 126 | 6" OAK                 |
| 127 | 6" OAK                 |
| 128 | 6" OAK                 |
| 129 | 6" OAK                 |
| 130 | 10" OAK                |
| 131 | 8" MAPLE               |
| 132 | 6" MAPLE               |
| 133 | 6" MAPLE               |
| 134 | 12" MAPLE              |
| 135 | 16" WALNUT             |
| 136 | 18" MAPLE              |
| 137 | 18" MAPLE              |
| 138 | 18" MAPLE              |
| 139 | 14" LOCUST             |
| 140 | 14" MAPLE              |
| 141 | 8" LOCUST              |
| 142 | 12" LOCUST             |
| 143 | 6" LOCUST              |
| 144 | 6" LOCUST              |
| 145 | 24" MAPLE              |
| 146 | 6" MAPLE               |
| 147 | 8" MAPLE               |
| 148 | 16" MAPLE              |
| 149 | 18" MAPLE              |
| 150 | 18" LOCUST             |
| 151 | 18" LOCUST             |
| 152 | 18" MAPLE              |
| 153 | 10" MAPLE              |
| 154 | 8" MAPLE               |
| 155 | TWIN 24" MAPLE         |
| 156 | 14" MAPLE              |
| 157 | 16" MAPLE              |

NOTE: 79 TREES ARE TO BE REMOVED  
NOTE: 18 NEW TREES ARE TO BE PLANTED  
ALONG WITH APPROXIMATELY 240 LF OF SHRUBBERY  
ALONG COMMON LOT LINES AS INDICATED.

| EXISTING LOT COVERAGE |                |
|-----------------------|----------------|
|                       | AREA (SQ. FT.) |
| OFFICE BUILDING       | 1,051          |
| PORCH                 | 250            |
| DETACHED GARAGE       | 372            |
| DRIVEWAY/PARKING LOT  | 4,999          |
| WALKS/STAIRS/STOOPS   | 126            |
| PADS                  | 33             |
| TOTAL (SQ. FT.)       | 6,831          |

| EXISTING BUILDING COVERAGE |                |
|----------------------------|----------------|
|                            | AREA (SQ. FT.) |
| OFFICE BUILDING            | 1,051          |
| PORCH                      | 250            |
| DETACHED GARAGE            | 372            |
| TOTAL (SQ. FT.)            | 1,673          |



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 246A27934500

*Ryan L. Smith* 3/4/24  
DATE:  
RYAN L. SMITH  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

1 3/4/24 REV. PER TWP. REVIEW  
NO. DATE REVISION

PROJECT TITLE :  
**15 VILLAGE ROAD  
LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :  
**EXISTING  
CONDITIONS &  
TREE REMOVAL  
PLAN**

DRAWN BY: JFW/FLS DATE: 11/9/23

CHECKED BY: FLS SCALE: 1" = 30'

W.D.

F.B.

FILE:

COMP FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg

FOR PORTION OF PROPERTY LOCATED IN THE B-1 ZONE - HISTORIC VILLAGE BUSINESS ZONE (5,

- (1) AREA WITHIN B-1 ZONE
- (2) OVERALL LOT AREA (WITHIN B-1 AND R-3 ZONES)
- (3) EXISTING, NON-CONFORMING CONDITION.
- (4) 20% IS ACCEPTABLE BECAUSE THE PROPERTY IS IN THE NEW VERNON HISTORIC DISTRICT, THE EXISTING STRUCTURE IS BEING RETAINED AND IS A CONTRIBUTING STRUCTURE TO THE HISTORIC CHARACTER OF THE DISTRICT.
- (5) THE USES PROVIDED, EXISTING CONDITIONS ARE FOR THE PORTION OF THE PROPERTY WITHIN THE B-1 ZONE ONLY. SEE ZONING TABLE AT RIGHT FOR PORTION OF PROJECT IN THE R-3 ZONE.
- (6) FLOOR AREA VALUE FOR OFFICE BUILDING IS 1,751 SQ. FT. AND WAS PROVIDED BY BYRNE DESIGN ASSOCIATES. NOT INCLUDED IN THE EXISTING FLOOR AREA IS THE OPEN FRONT PORCH (245 SQ. FT.). FLOOR AREA VALUE FOR THE PROPOSED RESIDENCE IS 1,734 SQ. FT. AND WAS PROVIDED BY BYRNE DESIGN ASSOCIATES. THIS VALUE INCLUDES 170 SQ. FT. OF ATTIC SPACE.
- (7) PORCH BUILDING OVERLOOKS OPEN FRONT PORCH FOR THE PROPOSED RESIDENCE. THE FRONT PORCH FOR THE RESIDENCE IS OPEN AND EXTENDS NO MORE THAN 4 FT. FROM THE STRUCTURE.
- (8) LOT DEPTH VALUE OF 157.14 FT. SHOWN HAS BEEN MEASURED FROM THE MIDPOINT OF ROAD RIGHT OF WAY ALONG VILLAGE ROAD TO THE MIDPOINT OF LOT AT THE B-1/R-3 ZONE BOUNDARY.
- (9) PROPOSED VARIANCE CONDITION

FOR PORTION OF PROPERTY LOCATED IN THE R-3 ZONE - RESIDENTIAL

- (1) AREA WITHIN R-3 ZONE = 30,750 SF, OVERALL LOT AREA = 48,644 SF
- (2) FRONT YARD IS INTERPRETED AS BEING MEASURED FROM MILLBROOK ROAD. VALUES PROVIDED ARE TO THE CLOSEST PORTIONS OF THE TWO RESIDENTIAL STRUCTURES (UNITS #2 & #3/4) TO MILLBROOK ROAD. SEE PLAN VIEW FOR SPECIFIC DIMENSIONS TO EACH RESPECTIVE COMPONENT OF DWELLING AND NEARBY UTILITY PADS.
- (3) LOT WIDTH WAS MEASURED FACING MILLBROOK ROAD
- (4) FIRST VALUE PROVIDED IS THE DIMENSION FROM THE MOST NORTHERLY STRUCTURE TO ITS CLOSET SIDELINE(16.1 FT.) SECOND VALUE PROVIDED IS THE DIMENSION FROM THE MOST SOUTHERLY STRUCTURE TO ITS CLOSET SIDELINE(13.5 FT.) NOTE: DUCK ON MOST NORTHERLY RESIDENCE IS SHOWN AS 10.2 FT FROM THE SIDELINE.
- (5) FIRST VALUE PROVIDED IS THE DIMENSION OF THE MOST NORTHERLY STRUCTURE TO ITS COMBINED SIDELINES. SECOND VALUE PROVIDED IS THE DIMENSION OF THE MOST SOUTHERLY STRUCTURE TO ITS COMBINED SIDELINES.
- (6) LOT DEPTH VALUE OF 186.65 FT. SHOWN HAS BEEN MEASURED FROM THE MIDPOINT OF ROAD RIGHT OF WAY ALONG MILLBROOK ROAD TO THE CLOSEST PROPERTY CORNER ALONG THE BOUNDARY LABEL "N 35 56 00", 60.00 FT.
- (7) BUILDING AREA IS BASED ON THE LESSER OF 6 PERCENT OF OVERALL LOT AREA (WITHIN BOTH B-1 AND R-3 ZONES) AND A SQUARE FOOTAGE OF 2,500 SQUARE FEET FOR A LOT THAT HAS AN AREA BETWEEN 37,501 SF & 87,120 SF. THE CURRENT CONCEPT OF 2,600 SF IS WITHIN THE 2,500 SF LIMIT SINCE 2,600 SF = 2.916% OF 89,484 SF.
- (8) PROPOSED BUILDING AREA EXCLUDES THE COVERED FRONT PORCHES OF THE PROPOSED RESIDENCES. THE FRONT PORCHES ARE OPEN AND EXTEND NO MORE THAN 4 FT. FROM THE STRUCTURES.
- (9) PROPOSED VARIANCE CONDITION
- (10) PROPOSED VARIANCE CONDITION, PROPOSED DECK/PATIO/STEPS CLOSER TO ROAD RIGHT OF WAY THAN FRONT FACADE OF BUILDING

*N 54°05'20" E 247.95'*



LOT COVERAGE ADDED IN B-1 ZONE + R-3 ZONE - LOT COVERAGE  
TO BE REMOVED IN B-1 ZONE =

$$3,744 \text{ SF} + 6,515 \text{ SF} - 1,777 \text{ SF} = 8,482 \text{ SF}$$

**TOTAL OVERALL LOT COVERAGE  
FOR ENTIRE PROJECT**

$$6,831 \text{ SF}(\text{EXISTING}) + 8,482 \text{ SF}(\text{NET CHANGE}) = 15,313 \text{ SF}$$

EXISTING LOT COVERAGE

EXISTING BUILDING COVERAGE

EXISTING LOT COVERAGE TO BE REMOVED

PROPOSED LOT COVERAGE TO BE ADDED (1)

(1) PROPOSED LOT COVERAGE AREA INCLUDES THE COVERED FRONT ENTRY OF THE PROPOSED RESIDENCE.

(2) PROPOSED BUILDING AREA EXCLUDES THE COVERED FRONT ENTRY OF THE PROPOSED RESIDENCE. THE FRONT ENTRY IS OPEN AND EXTENDS NO MORE THAN 4 FT. FROM THE STRUCTURE.

PROPOSED LOT COVERAGE TO BE ADDED (3)

(3) PROPOSED LOT COVERAGE AREA INCLUDES THE COVERED FRONT ENTRY OF THE PROPOSED RESIDENCES

(4) PROPOSED BUILDING AREA EXCLUDES THE COVERED FRONT ENTRY OF THE PROPOSED RESIDENCES. THE FRONT ENTRY IS OPEN AND EXTENDS NO MORE THAN 4 FT. FROM THE STRUCTURE.



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 24GA27934500

Ben Z. Littel 3/4/24

**RYAN L. SMITH** DATE: \_\_\_\_\_  
 NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
 AND LAND SURVEYOR No. 42575  
 NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

[illegible]

|     |        |                   |
|-----|--------|-------------------|
| 1   | 3/4/24 | ADD EXISTING SIGN |
| NO. | DATE   | REVISION          |

PROJECT TITLE :

**15 VILLAGE ROAD  
LLC PROJECT**

15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
**TOWNSHIP OF HARDING**  
**MORRIS COUNTY, NEW JERSEY**

SHEET TITLE :

# ZONING PLAN

|                              |                           |
|------------------------------|---------------------------|
| DRAWN BY:<br><i>JPAR/RLS</i> | DATE:<br><i>11/9/23</i>   |
| CHECKED BY:<br><i>RLS</i>    | SCALE:<br><i>1" = 20'</i> |

W.O.

F.B.

FILE:

COMP FILE:  
M:\SEPTIC\...\220159\BOASitePlan\_rev1.dwg

SHEET **3** OF **9**

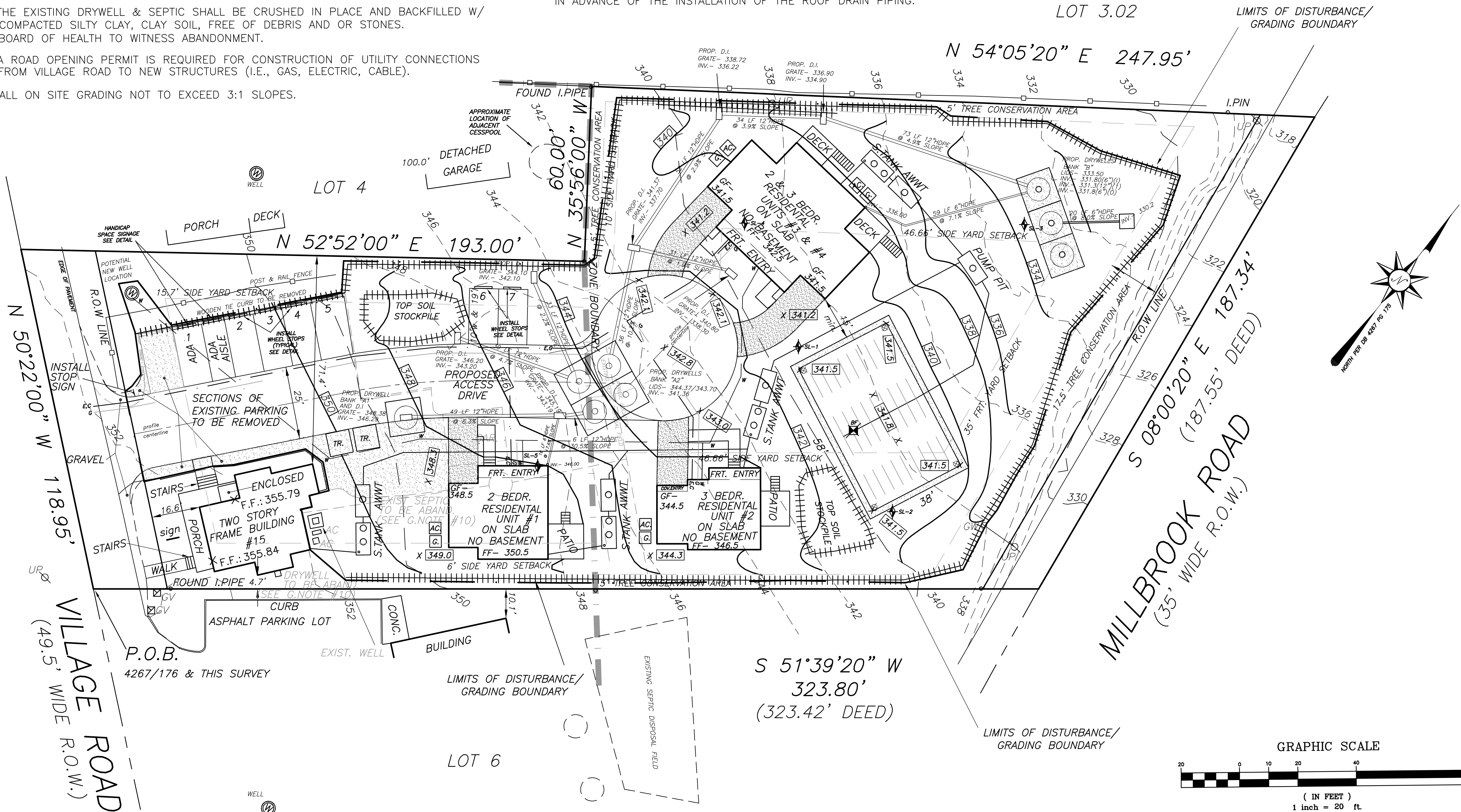


GENERAL NOTES:

1. LOT BOUNDARY AND TOPOGRAPHIC SURVEY AS SHOWN WERE TAKEN FROM A SURVEY PREPARED BY THIS FIRM, CHRISTOPHER J. ALDRICH, NULS #34478, DATED 1/6/21, VERTICAL DATUM: NAVD 88.
2. THE NET INCREASE IN OVERALL LOT COVERAGE FOR THIS PROJECT IS 8,462 SQ. FT. THE OVERALL AMOUNT OF SOIL DISTURBANCE FOR THIS PROJECT IS 39,914 SQ. FT.
3. THERE ARE NO WETLANDS WITHIN 150 FEET OF THE PROPOSED SOIL SOIL DISTURBANCE SHOWN ON THESE PLANS. SEE REPORT BY ENVIRONMENTAL TECHNOLOGY FOR CROSS REFERENCING.
4. THERE ARE NO CATEGORY ONE WATERS WITHIN 300 FEET OF THE PROPOSED SOIL SOIL DISTURBANCE SHOWN ON THESE PLANS. SEE REPORT BY ENVIRONMENTAL TECHNOLOGY FOR CROSS REFERENCING.
5. THE PROPOSED DEVELOPMENT SHALL BE SERVED BY AN INDIVIDUAL POTABLE WATER WELL, AN INDIVIDUAL SEPTIC DISPOSAL SYSTEM AND PUBLIC GAS.
6. THE PROPOSED BUILDING PLANS WERE PREPARED BY BYRNE DESIGN ASSOCIATES, WILLIAM BYRNE, RA. SEE THEIR PLAN FOR CROSS REFERENCING.
7. THERE ARE NO PROPOSED STREET LIGHTS PROPOSED WITH THE CURRENT PROJECT.
8. EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
9. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF SITE PLAN REVIEW AND APPROVAL BY THE HARDING TOWNSHIP PLANNING BOARD, HARDING TOWNSHIP BOARD OF HEALTH AND MORRIS COUNTY PLANNING BOARD. THESE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL APPLICABLE APPROVALS HAVE BEEN GRANTED FOR THIS PROJECT.
10. THE EXISTING DRYWELL & SEPTIC SHALL BE CRUSHED IN PLACE AND BACKFILLED W/ COMPACTED SILTY CLAY, CLAY SOIL, FREE OF DEBRIS AND OR STONES. BOARD OF HEALTH TO WITNESS ABANDONMENT.
11. A ROAD OPENING PERMIT IS REQUIRED FOR CONSTRUCTION OF UTILITY CONNECTIONS FROM VILLAGE ROAD TO NEW STRUCTURES (I.E., GAS, ELECTRIC, CABLE).
12. ALL ON SITE GRADING NOT TO EXCEED 3:1 SLOPES.

13. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND, AFTER THE BACKFILLING OF TRENCHES FOR THE UTILITIES, THESE AREAS ARE TO BE STABILIZED IN ACCORDANCE WITH THE SPECIFICATIONS NOTED.
14. IMMEDIATELY AFTER FINE GRADING, ALL AREAS SHALL BE LIMED, FERTILIZED AND SEEDED.
15. DISTURB AS LITTLE AREA AS POSSIBLE DURING EXCAVATION. EXCAVATED MATERIAL IS TO BE DISPOSED OF ON SITE AFTER ALL BUILDING CONSTRUCTION IS COMPLETED, OR DISPOSED OF IN A OFFSITE APPROVED LANDFILL.
16. EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL UNDERGROUND UTILITIES 1-800-272-1000 FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ACERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
17. ALL KNOWN & PROPOSED EASEMENTS ARE SHOWN ON THIS PLAN. THE CONTRACTOR WILL ADD ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS DIRECTED BY THE TOWNSHIP ENGINEER.
18. FOR DETAILS RELATED TO THE PROPOSED SEPTIC SYSTEM SEE PLANS PREPARED BY OUR FIRM DATED 10/27/23 FOR CROSS REFERENCING.
19. THIS PROPERTY IS SERVED & HEATED BY NATURAL GAS.
20. THE TOWNSHIP CODE REQUIRES THAT SOLID METAL GUTTER COVERS BE INSTALLED ON ALL NEW ROOF AREAS THAT DISCHARGE INTO A STORMWATER RECHARGE SYSTEM. SCREENS ARE NOT PERMISSIBLE.
21. ALL DOWNSPOUTS SHALL BE DIRECTED INTO THE ROOF LEADERS CONNECTED TO PROPOSED DRYWELLS OR SPLASHBLOCKS AWAY FROM THE FOUNDATIONS AS INDICATED.
22. AN AREA AT LEAST 10 FEET WIDE AROUND THE FOUNDATIONS SHALL BE GRADED DOWNWARD AWAY FROM THE PROPOSED FOUNDATIONS.
23. THE TOWNSHIP ENGINEER WILL BE NOTIFIED AT LEAST 72 HOURS IN ADVANCE OF THE INSTALLATION OF THE ROOF DRAIN PIPING.

24. THE FOLLOWING SITE WORK INSPECTIONS ARE REQUIRED:
- SILT FENCE (AFTER INSTALLATION)
  - ALL STORM & ROOF DRAINAGE PIPES (BEFORE BACKFILL)
  - SITE GRADING (BEFORE VEGETATIVE STABILIZATION)
  - FINAL (AFTER VEGETATIVE STABILIZATION)
25. THE ENTIRE SITE IS MAPPED AS P<sub>eo</sub>B, PENN CHANNERY SILT LOAM SOILS
26. THE SUBJECT PROPERTY IS LOCATED WITHIN THE NEW VERNON HISTORIC DISTRICT, WHICH IS LISTED IN THE NEW JERSEY AND NATIONAL REGISTERS OF HISTORIC PLACES. THE SUBJECT PROPERTY IS DESIGNATED AS "CONTRIBUTING" ON A MAP ENTITLED "NEW VERNON HISTORIC DISTRICT", PER THE HARDING TOWNSHIP MASTER PLAN. NO CHANGES ARE PROPOSED TO THE EXISTING HISTORIC STRUCTURE.



**YANNACCONE VILLA & ALDRICH, LLC**

Civil Engineers & Land Surveyors

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE OF AUTHORIZATION No. 246A27934500

*Ryan L. Smith* 3/4/24  
**RYAN L. SMITH** DATE:  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575  
NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

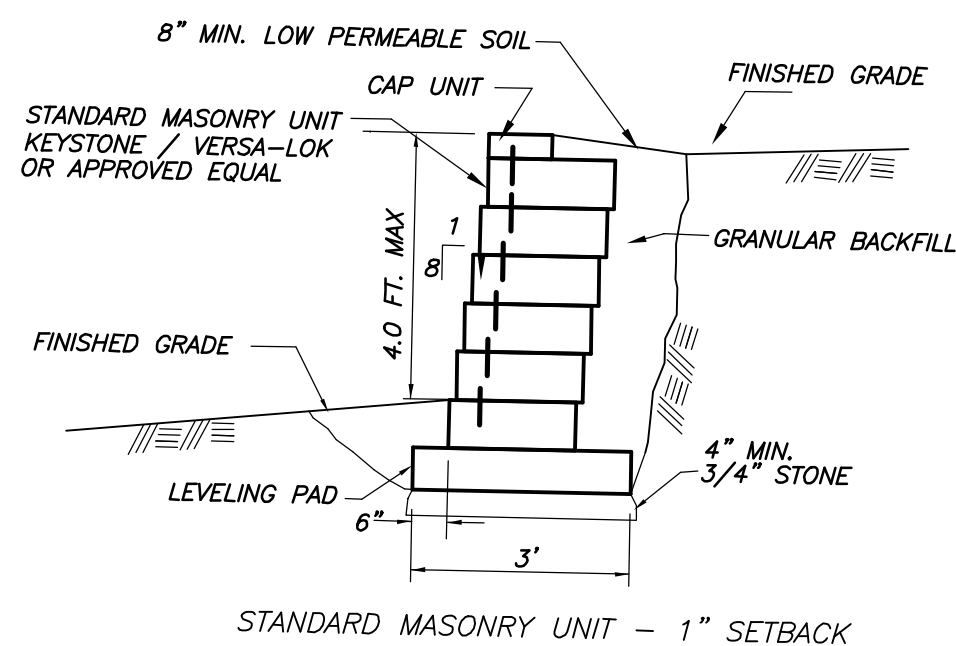
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|-----|--------|-------------------|
| 1   | 3/4/24 | ADD EXISTING SIGN |
| NO. | DATE   | REVISION          |

PROJECT TITLE :  
**15 VILLAGE ROAD LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

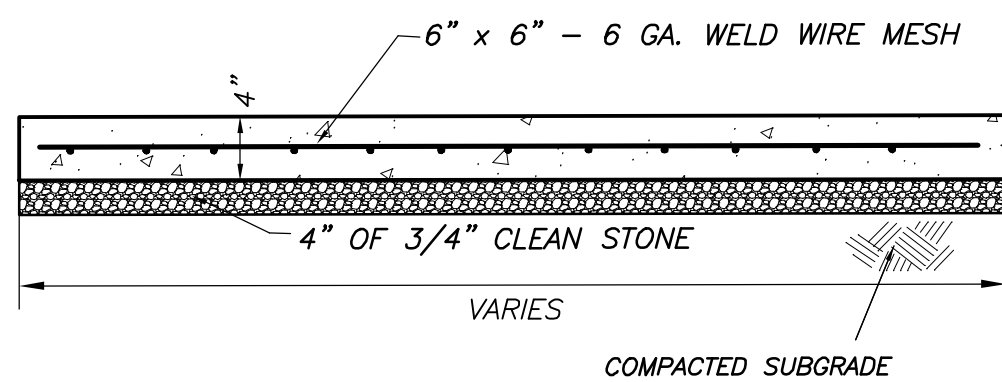
SHEET TITLE :  
**PROPOSED GRADING PLAN**

|                      |                    |
|----------------------|--------------------|
| DRAWN BY:<br>JFW/FLS | DATE:<br>11/9/23   |
| CHECKED BY:<br>RLS   | SCALE:<br>1" = 20' |

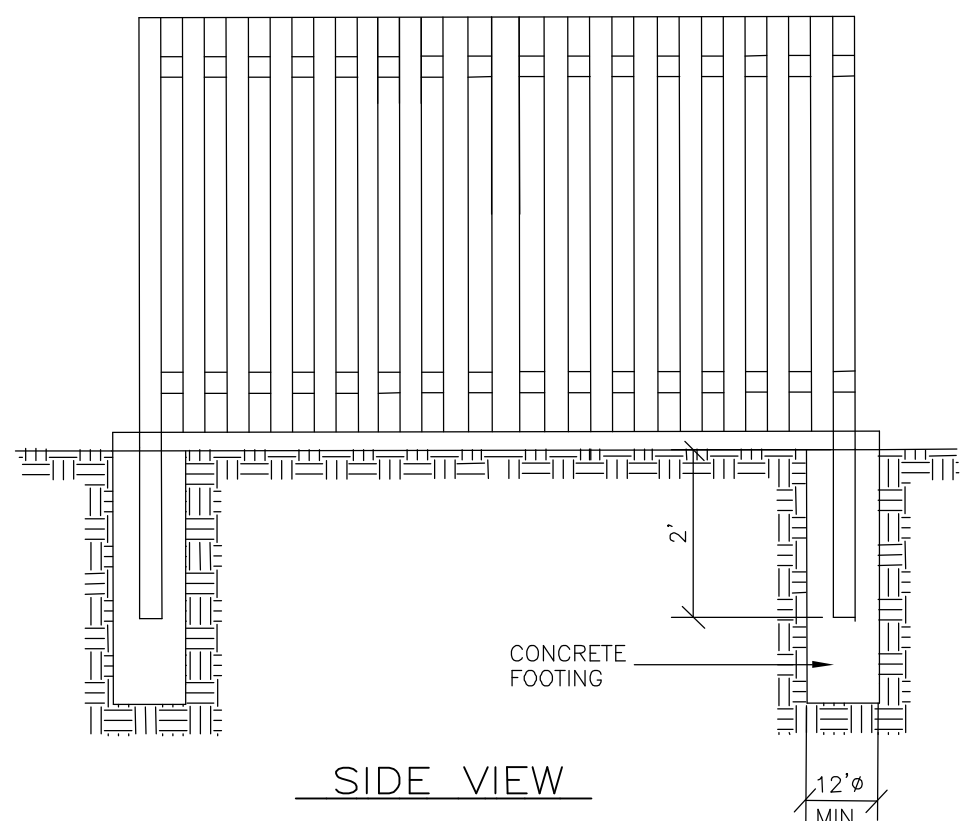
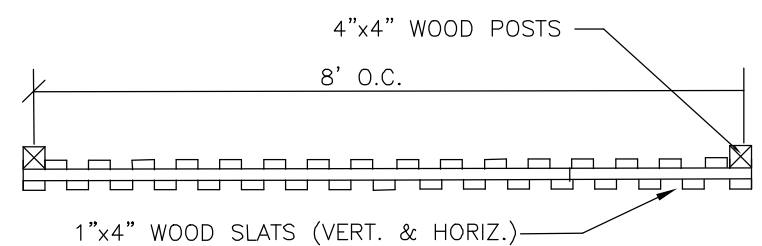
W.D.  
F.B.  
FILE:  
COMP FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg



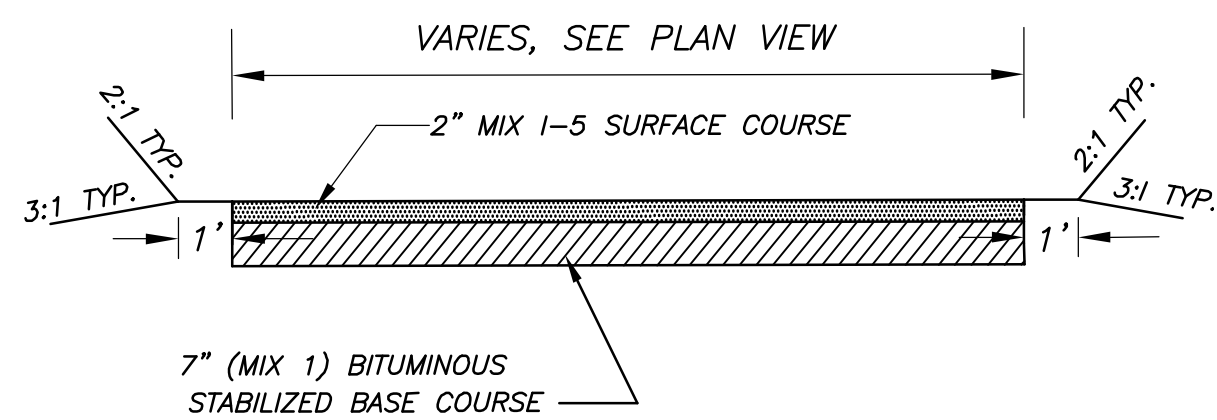
**TYPICAL MASONRY RETAINING WALL  
(OR APPROVED EQUAL)**  
NOT TO SCALE



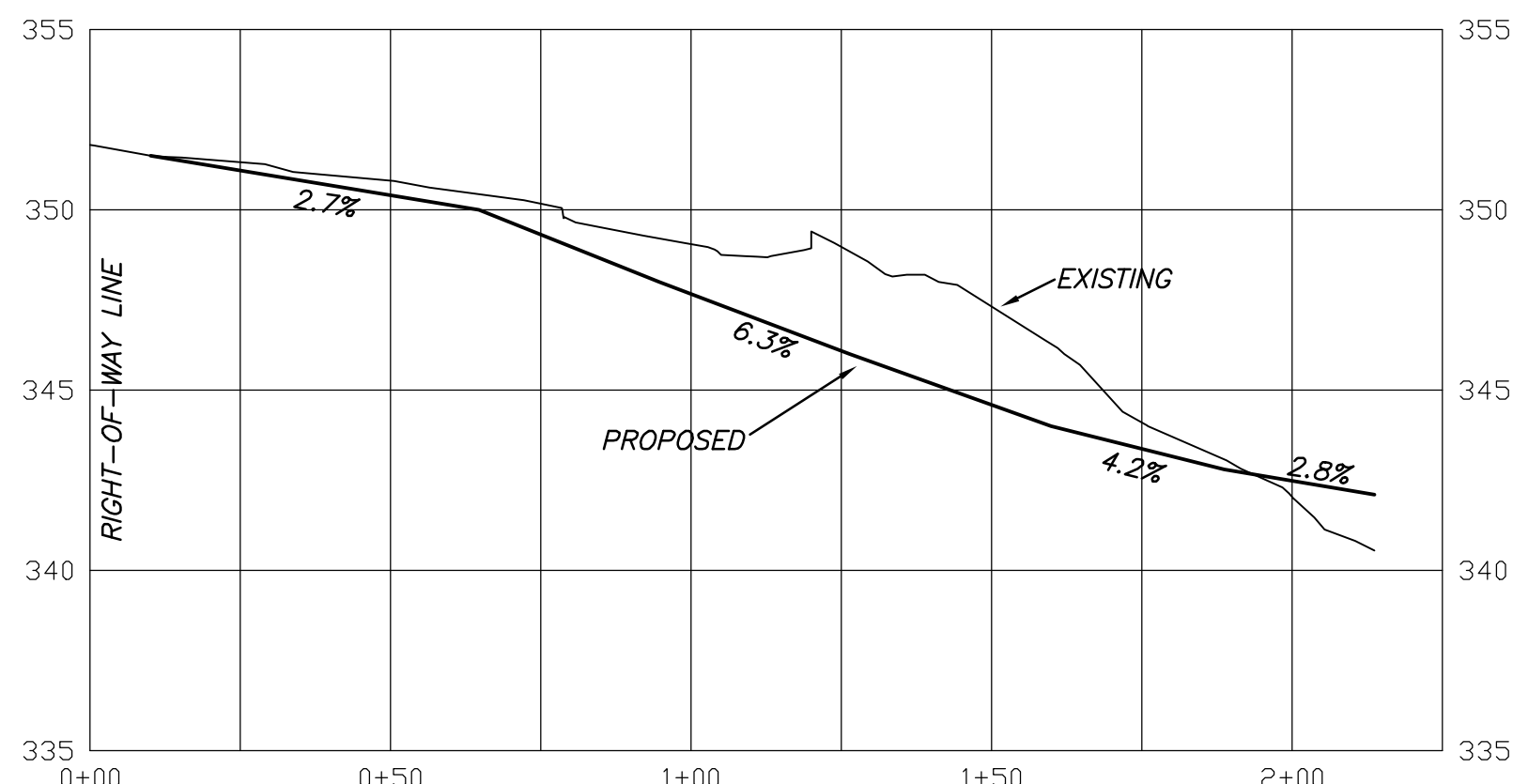
**A/C/GEN & TRASH ENCLOSURE  
CONCRETE PAD DETAIL**  
NOT TO SCALE



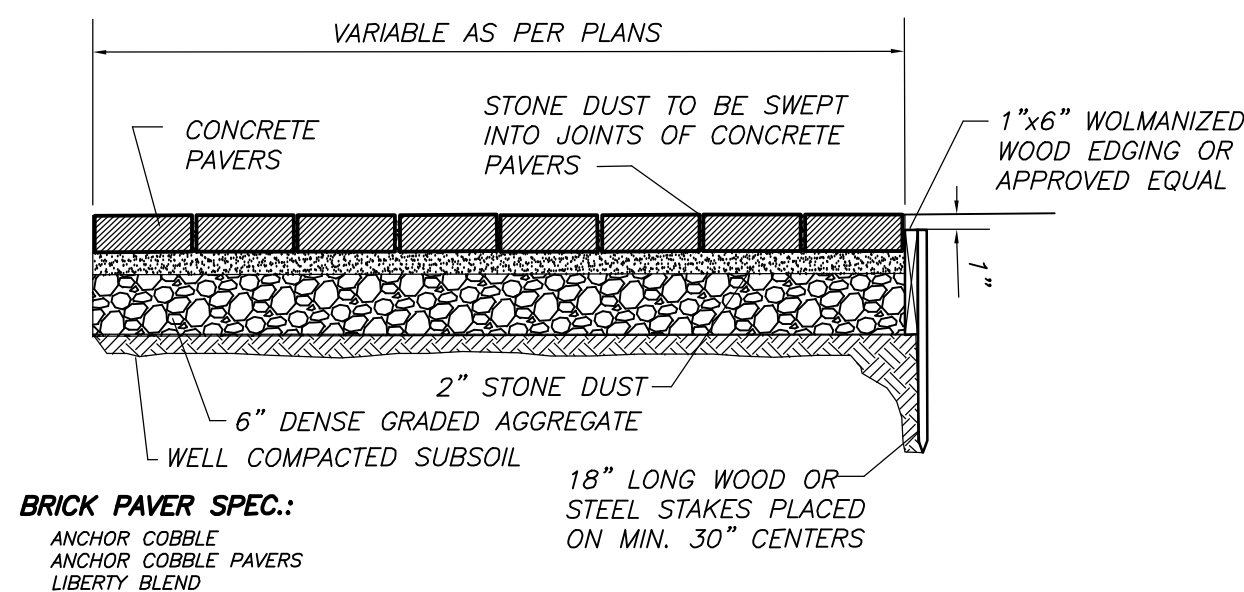
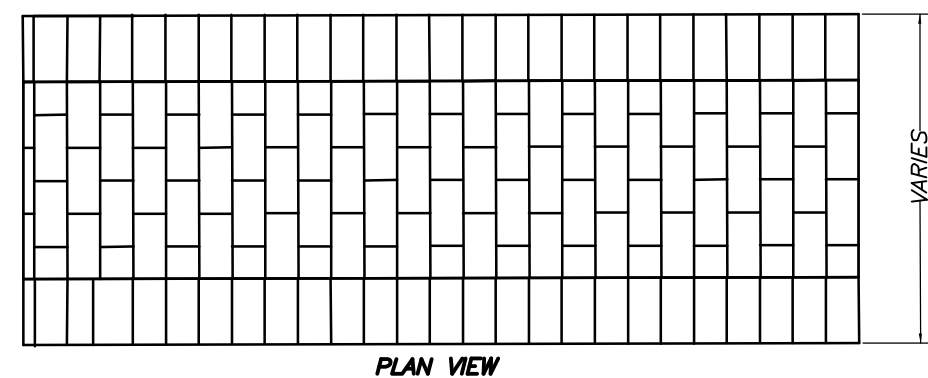
**BOARD ON BOARD FENCE  
TRASH ENCLOSURE DETAIL**  
N.T.S.



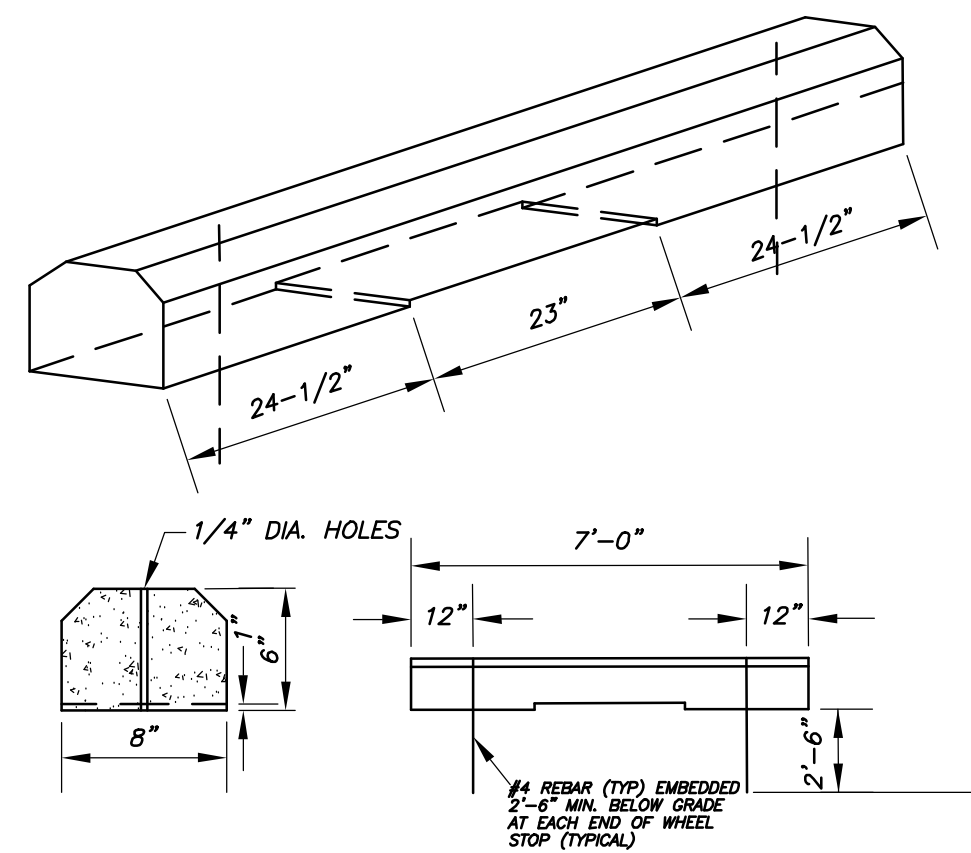
**DRIVEWAY PAVEMENT CROSS SECTION**  
NOT TO SCALE



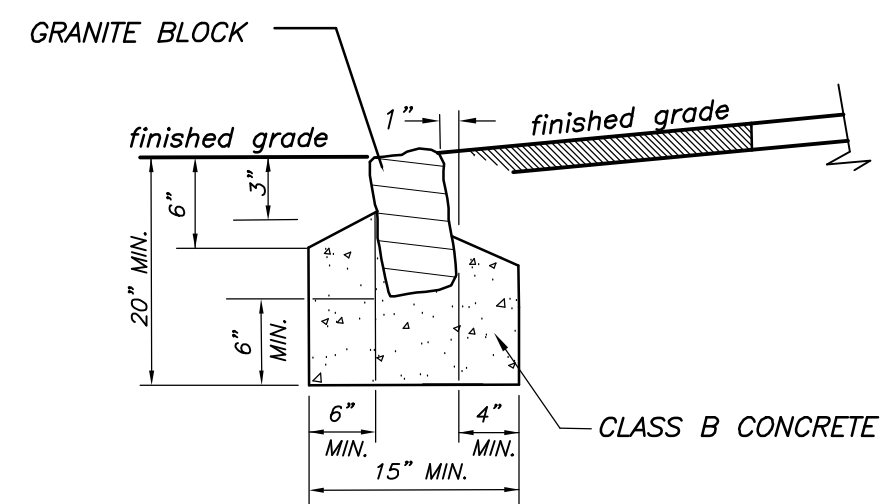
**DRIVEWAY CENTERLINE PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'



**CONCRETE BRICK PAVERS DETAIL**  
NOT TO SCALE



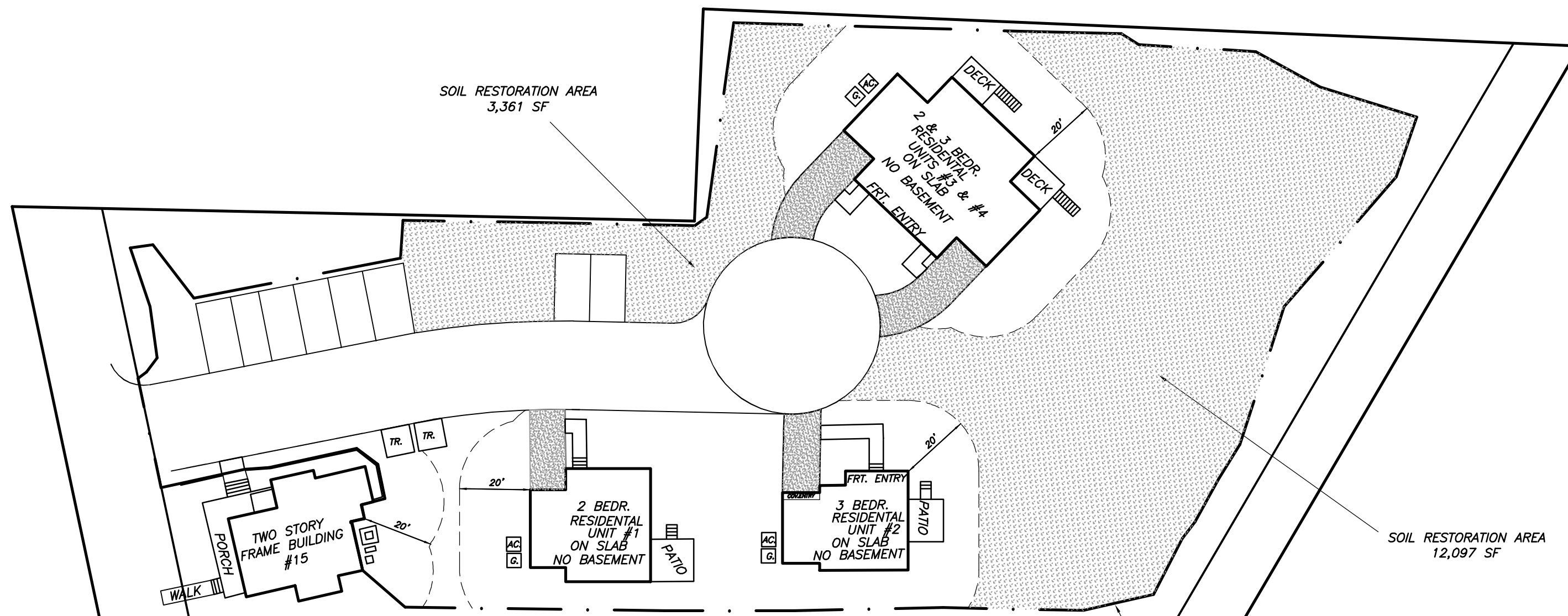
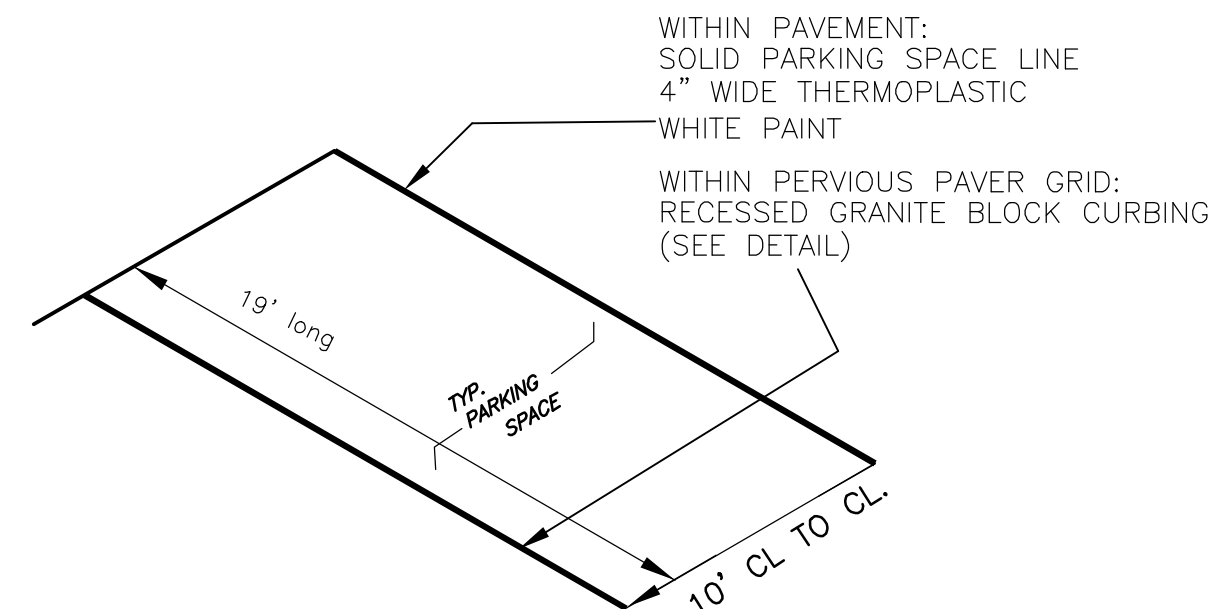
**PRECAST CONCRETE WHEEL STOP DETAIL**  
NOT TO SCALE



**RECESSED  
6\"/>**

NOTE: INSTALL RECESSED GRANITE BLOCK CURBING AT ALL PAVEMENT EDGES

**TYP. 'PARKING SPACE' STRIPING DETAIL**  
NOT TO SCALE



TOTALK RESTORATION AREA = 15,458 SF

**SOIL RESTORATION AREA**

SCALE - 1" = 30'



**YANNACCON  
VILLA  
& ALDRICH, LLC**

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CHESTER, NEW JERSEY 07930  
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FAX: 908-879-8591

N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 246A27934500

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

*Ryan L. Smith* 3/4/24  
DATE: 3/4/24  
**RYAN L. SMITH**  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

|     |        |                      |
|-----|--------|----------------------|
| 1   | 3/4/24 | ADD DRIVEWAY PROFILE |
| NO. | DATE   | REVISION             |

PROJECT TITLE :

**15 VILLAGE ROAD  
LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :

**CONSTRUCTION  
DETAIL SHEET #1**

|           |          |
|-----------|----------|
| DRAWN BY: | DATE:    |
| CF        | 10/27/23 |

|             |          |
|-------------|----------|
| CHECKED BY: | SCALE:   |
| RLS         | AS SHOWN |

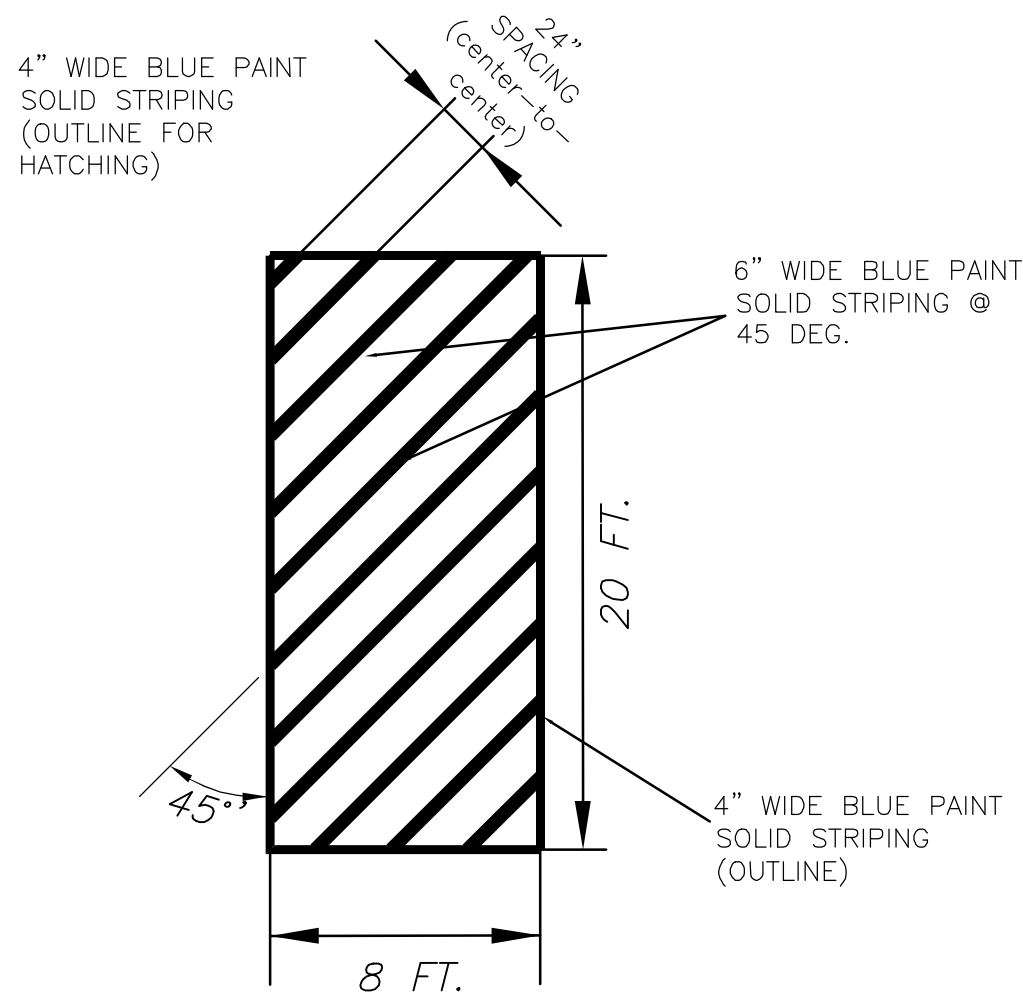
W.O. 220159

F.B. ----

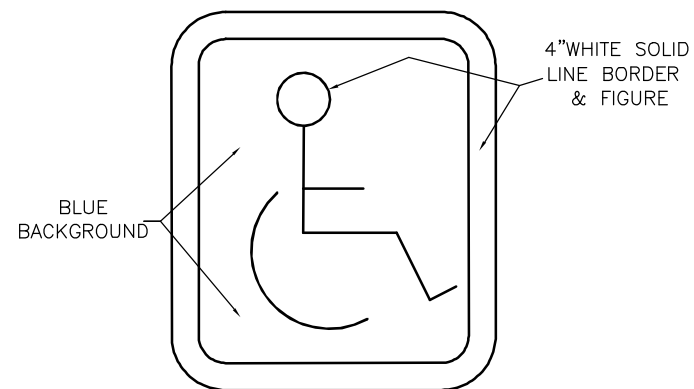
FILE:

COMP FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg

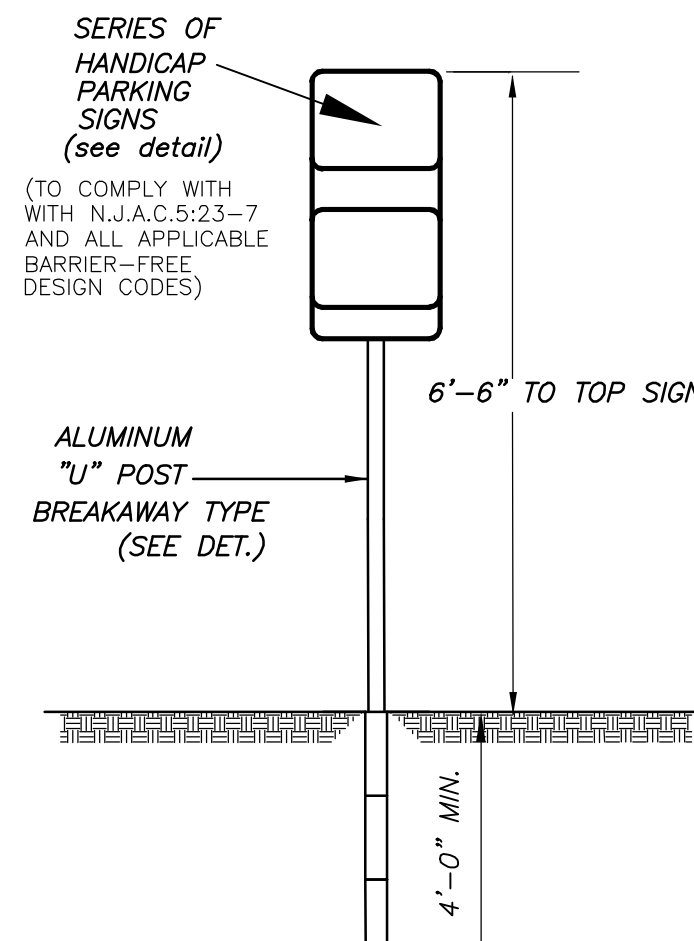




**ACCESS AISLE STRIPING DETAIL**  
(ADJACENT TO VAN ACCESSIBLE PARKING SPACE)  
NOT TO SCALE

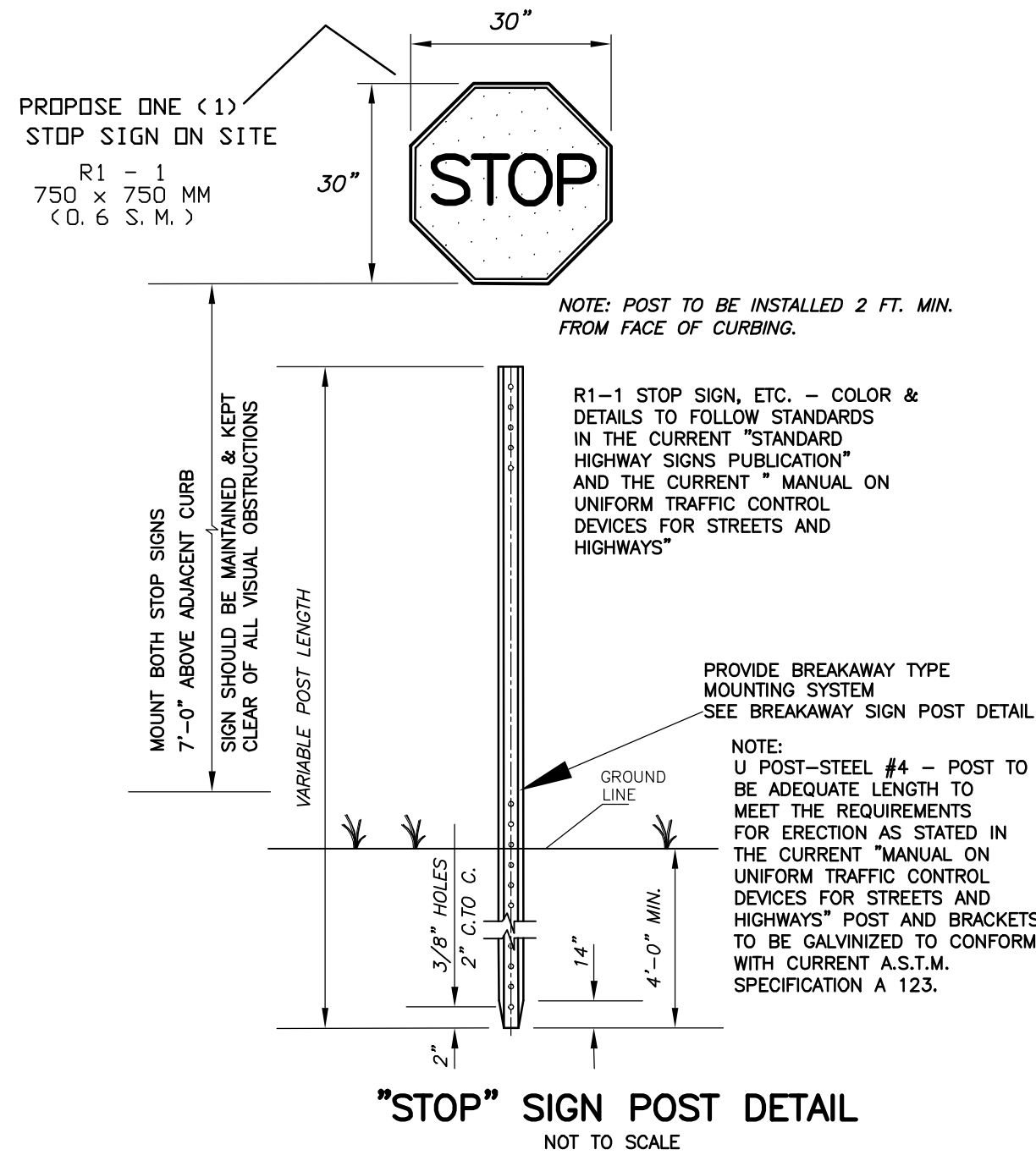


**INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE WITH BLUE BACKGROUND AND WHITE BORDER**  
(PER MUTCD, V. 2000)  
NOT TO SCALE

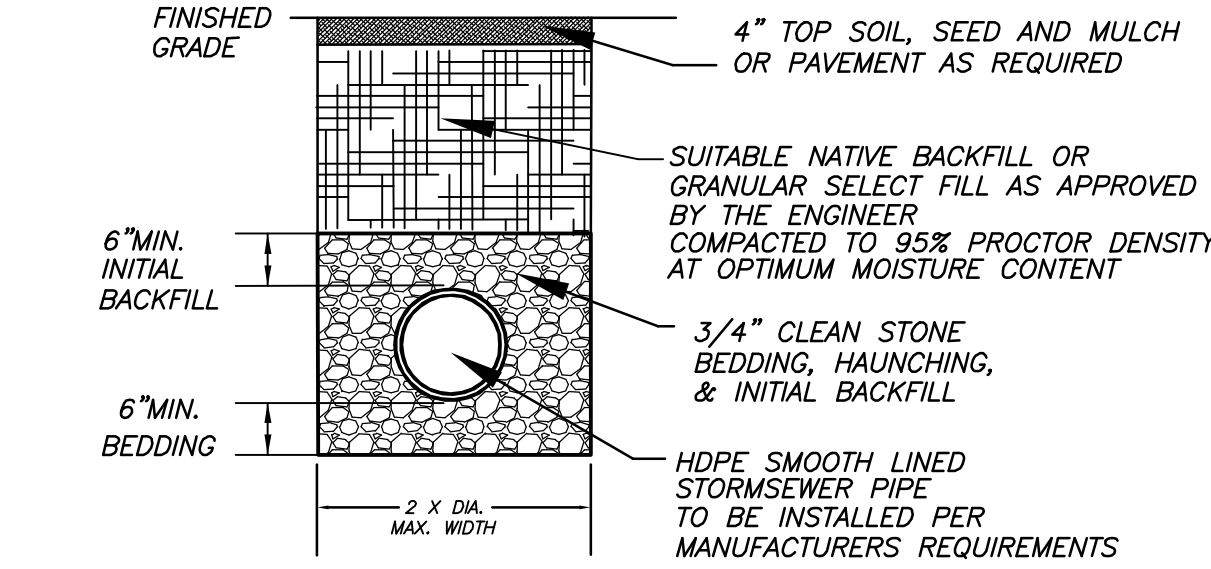


NOTE:  
U POST-STEEL #4 - POST TO BE ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" POST AND BRACKETS TO BE GALVANIZED TO CONFORM WITH CURRENT A.S.T.M. SPECIFICATION A 123.

**HANDICAP PARKING SIGN POST DETAIL**  
NOT TO SCALE  
(FROM THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES")  
NOTE: POST TO BE INSTALLED 1 FT. MIN. FROM FACE OF CURBING.

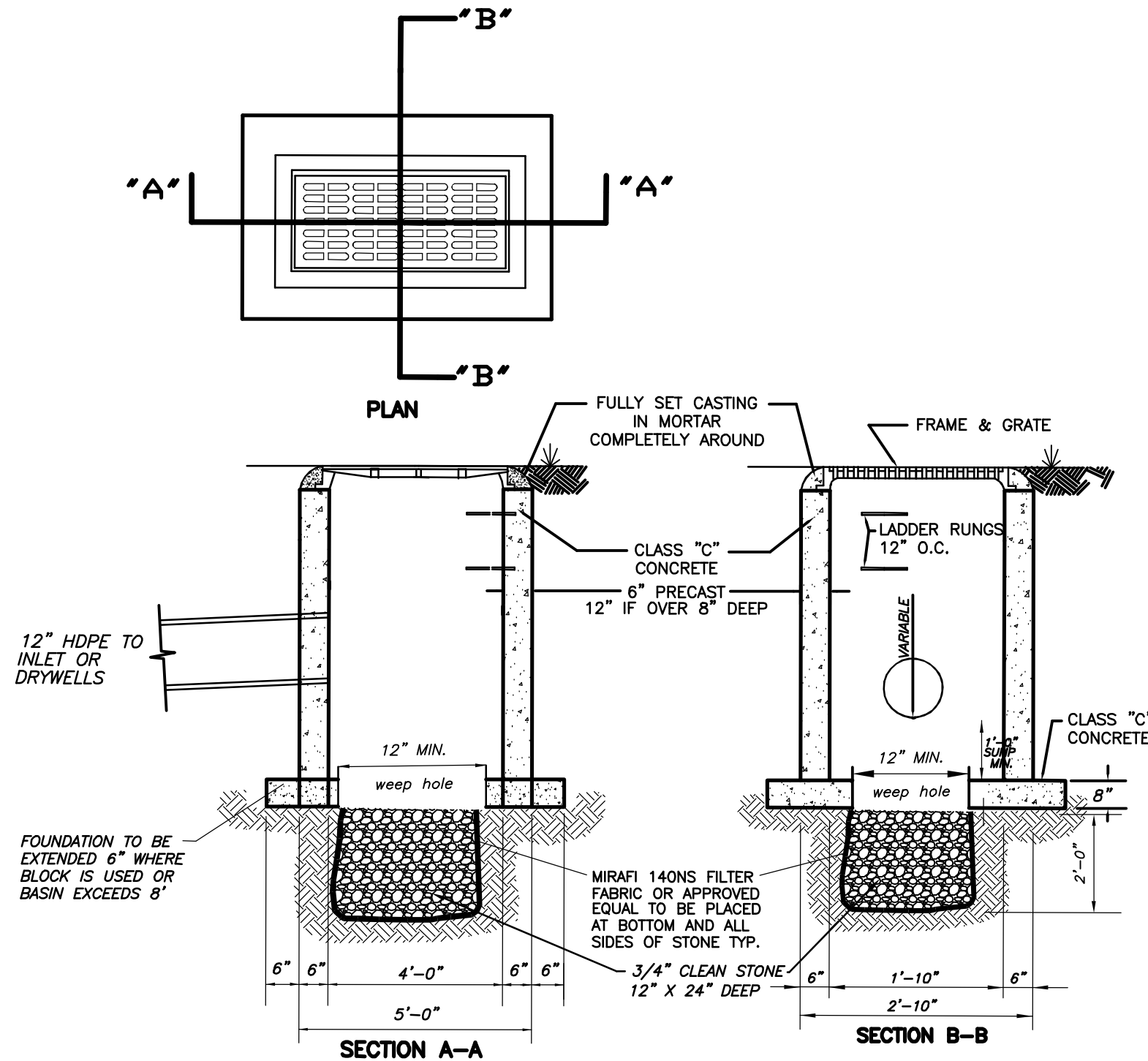


**"STOP" SIGN POST DETAIL**  
NOT TO SCALE

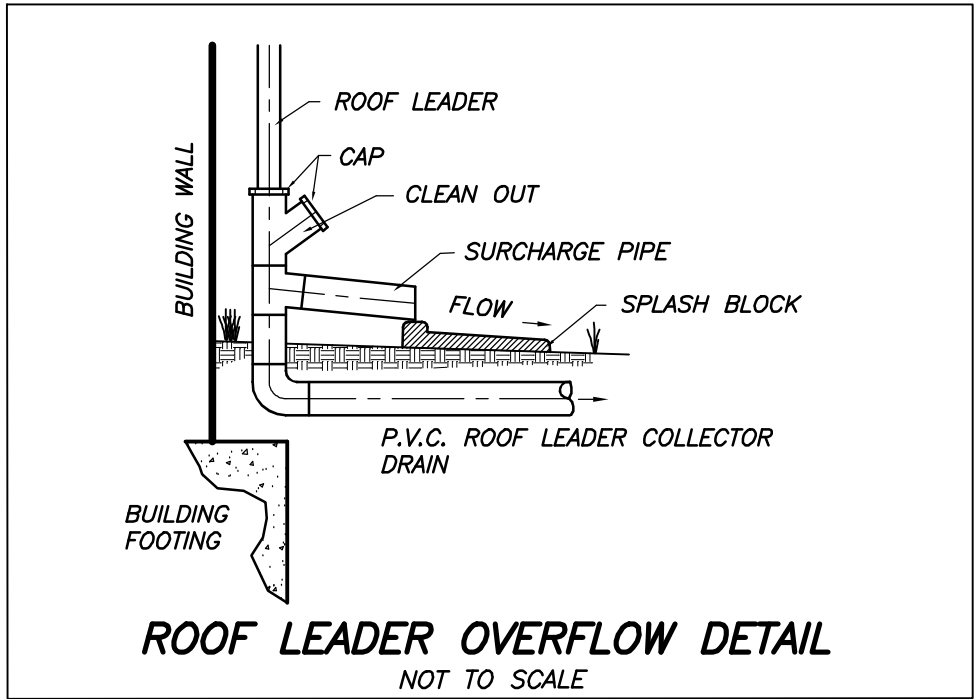


**HDPE STORMWATER PIPE TRENCH DETAIL**  
NOT TO SCALE

- NOTES :**
1. INLET UNIT SHALL BE CONSTRUCTED OF PRECAST CONCRETE
  2. FRAME AND GRATE TO BE No. 3405 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.
  3. PROVIDE 3/4" DIA. ALUMINUM LADDER RUNGS 12" O.C.
  4. PRECAST UNIT SHALL BE DESIGNED TO AASHTO H-20 LOADINGS.
  5. WALLS OVER 8 FT. DEEP SHALL BE 12" THICK.
  6. ALL PIPES TO BE CUT FLUSH WITH BASIN WALL.



**TYPE "A" INLET**  
NOT TO SCALE



**ROOF LEADER OVERFLOW DETAIL**  
NOT TO SCALE



**EXISTING WOOD SIGN DETAIL**  
NOT TO SCALE  
EXISTING WOOD SIGN  
PAINTED BLACK WITH GOLD ACCENTS AND LETTERING



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 240A27934500

*Ryan L. Smith* 3/4/24  
**RYAN L. SMITH** DATE:  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

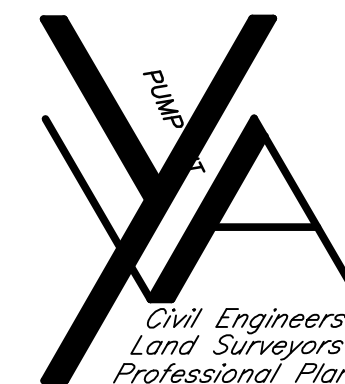
NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

**15 VILLAGE ROAD LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :  
**CONSTRUCTION DETAIL SHEET #2**

|                     |                    |
|---------------------|--------------------|
| DRAWN BY:<br>CF     | DATE:<br>11/9/23   |
| CHECKED BY:<br>R.S. | SCALE:<br>AS SHOWN |

W.0.220159  
F.B. ----  
FILE:  
COMP FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg



**YANNACCONE  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 24627934500

*Ryan L. Smith* 3/4/24  
**RYAN L. SMITH** DATE:  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

| NO. | DATE   | REVISION |
|-----|--------|----------|
| 1   | 3/4/24 | REISSUE  |

PROJECT TITLE :

**15 VILLAGE ROAD  
LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :

**STORMWATER  
DESIGN  
DETAIL SHEET**

DRAWN BY:

CF

DATE:

11/9/23

CHECKED BY:

RLS

SCALE:

AS SHOWN

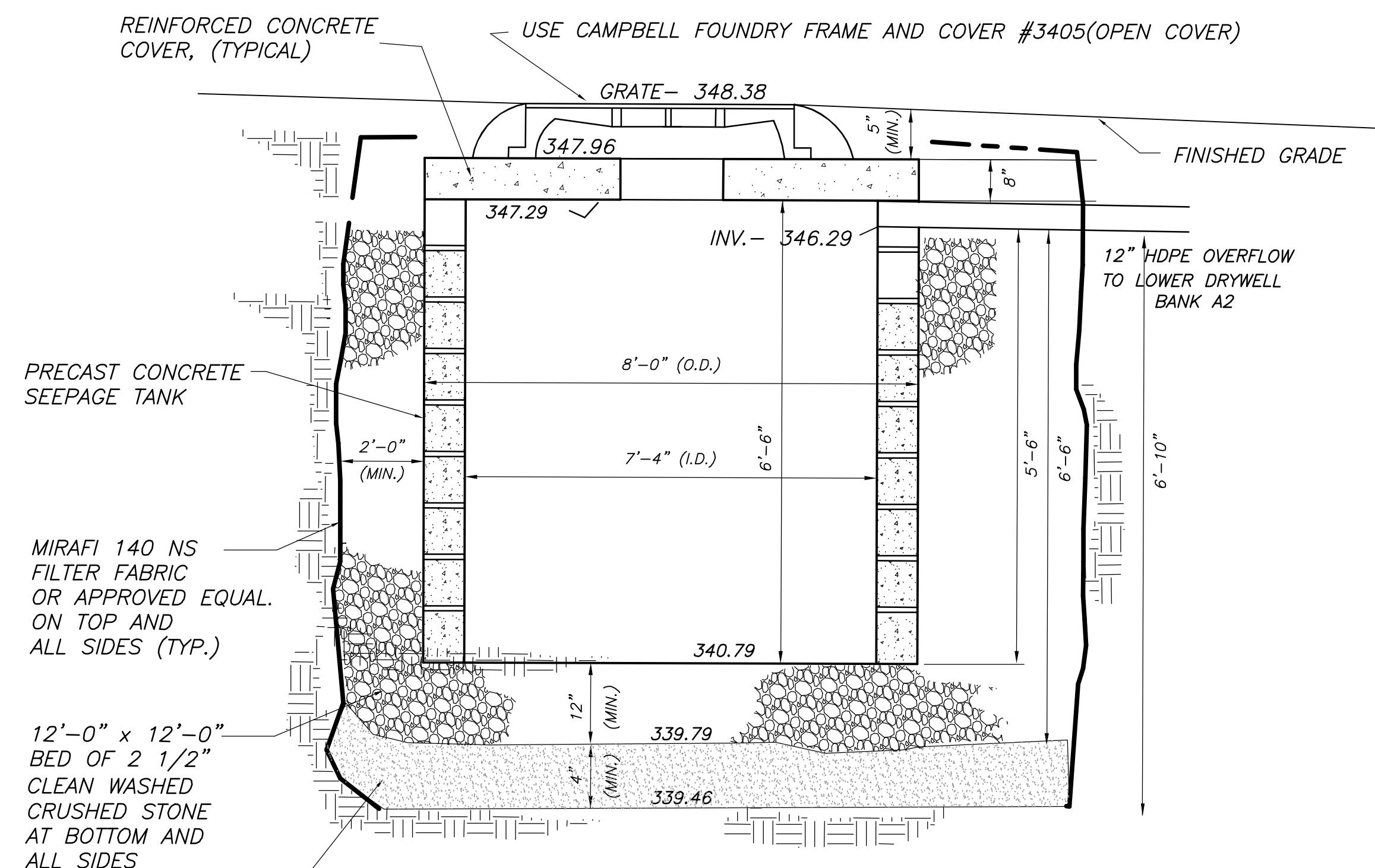
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F.B. ----

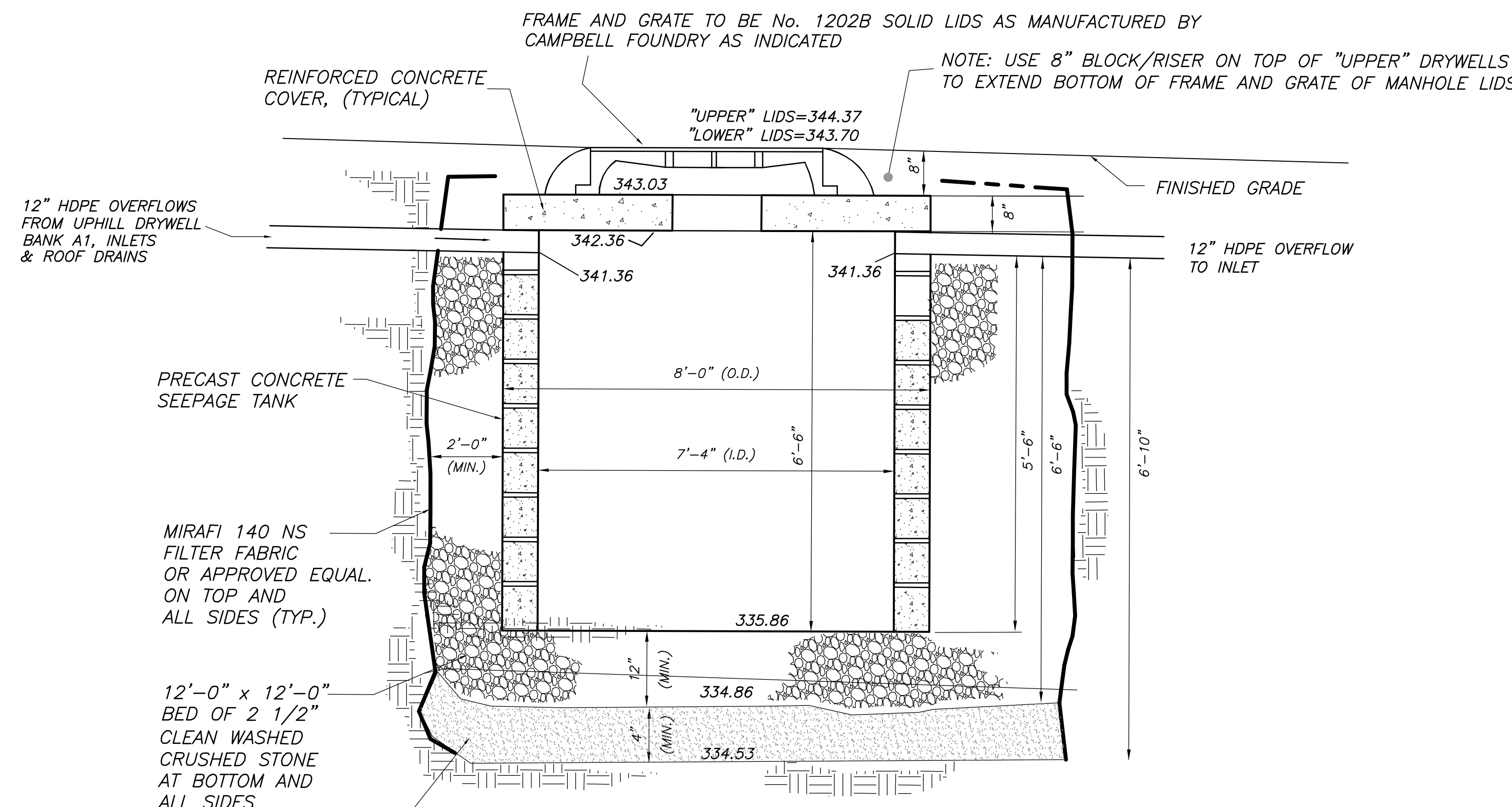
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COMP. FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg

SHEET **7** OF **9**



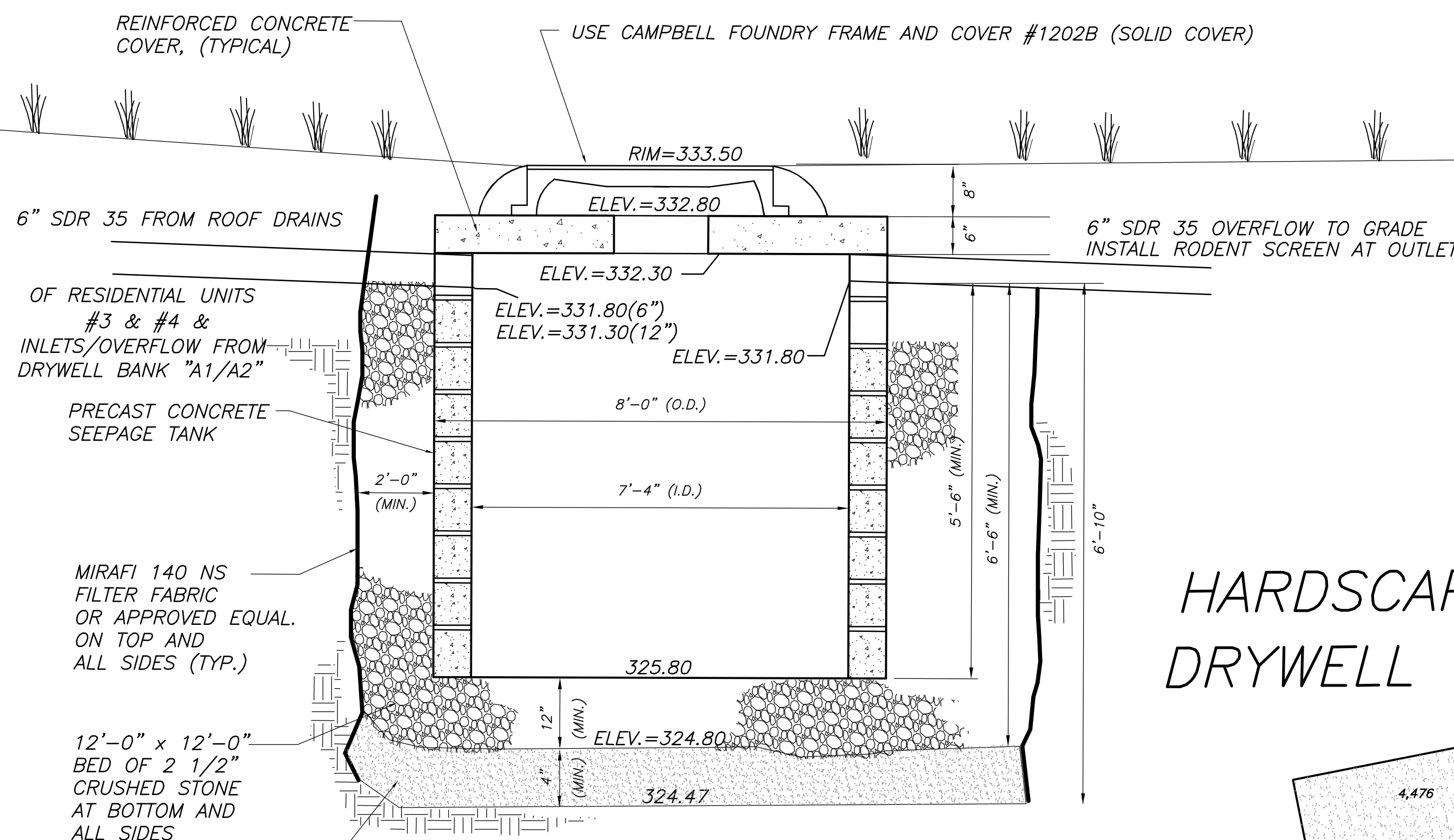
**DRYWELL  
DETAIL BANK "A1"  
with OPEN GRATE  
TRAFFIC LOAD BEARING  
USE HS-20 RATED DRYWELLS**



**DRYWELL  
DETAIL BANK "A2"  
with SOLID LID  
TRAFFIC LOAD BEARING  
USE HS-20 RATED DRYWELLS**

NOT TO SCALE

STORE 4" OF RUNOFF FROM COLLECTED ROOF AREAS OF OFFICE BLDG, RESIDENTIAL UNIT#1, PORTIONS  
OF DRIVEWAY, PARKING AND PADS:  
STORAGE VOL. CAPTURED = 7,405 SQ.FT. x 4/12 = 2,465.9 CU.FT.  
TYPICAL DRYWELL : 12'-0" x 12'-0" x 7'-0" DEEP (BELOW OVERFLOW) STONE BED  
WITH 8'-0" DIA. x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONC. SEEPAGE TANK  
DISPLACEMENT VOL. OF SEEPAGE TANK:  
 $\pi \times r^2 \times h = \pi \times (4')^2 \times 5.5 = 276.5 \text{ cu.ft.}$   
STORAGE VOL. OF SEEPAGE TANK:  
 $\pi \times r^2 \times h = \pi \times (3.67')^2 \times 5.5 = 232.7 \text{ cu.ft.}$   
VOL. OF STORAGE BED =  $1 \times w \times h = 12.0 \times 12.0 \times 6.5 = 936.0 \text{ cu.ft.}$   
STORAGE VOL. OF STONE BED:  
(VOL. STONE - DISP. VOL. TANK) x 0.40 VOIDS = (936.0 - 276.5) x 0.40 = 263.8 CU.FT.  
STORAGE VOLUME OF DRYWELL:  
BED VOL. + TANK VOL. = 263.8 + 232.7 = 496.5 CU.FT./DRYWELL  
DRYWELLS REQUIRED : STORAGE VOL. REQUIRED/STORAGE VOL. DRYWELL  
2,465.9 CU.FT./496.5 CU.FT. = 5.0  
THEREFORE USE FIVE (5) DRYWELLS

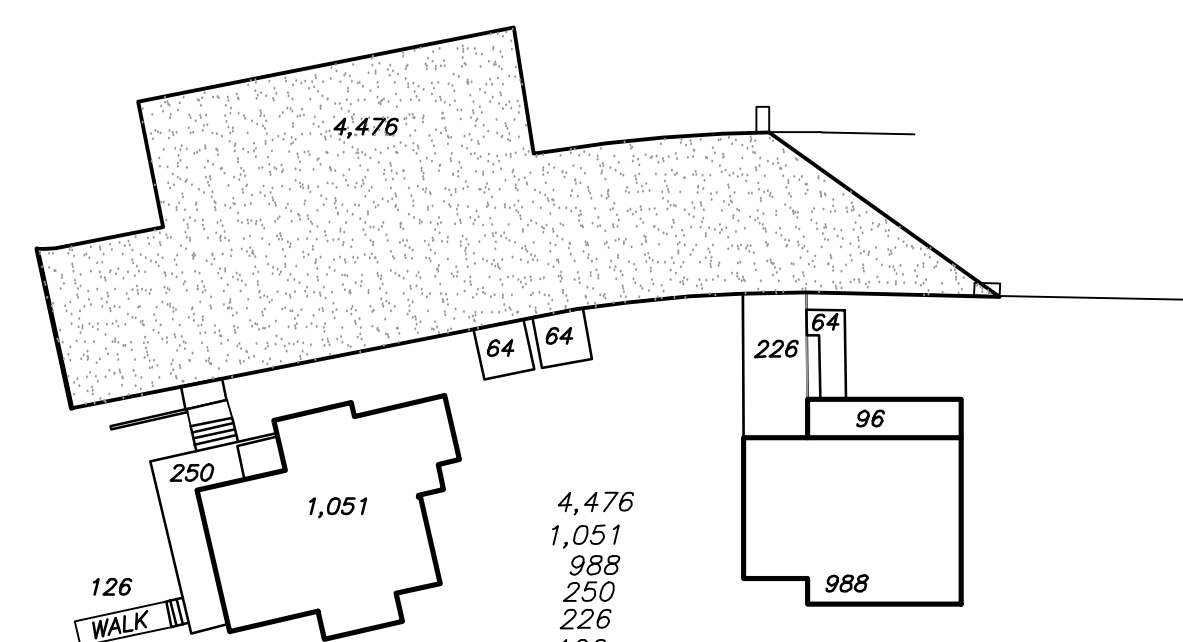


**DRYWELL DETAIL BANK "B"**

NOT TO SCALE

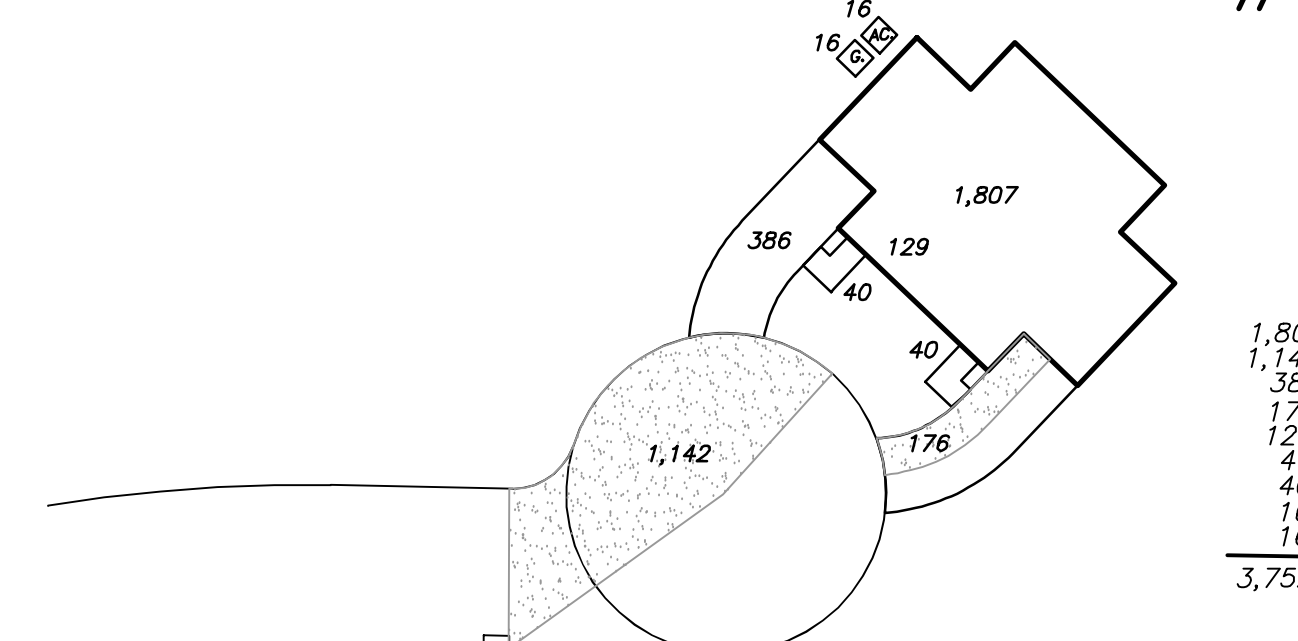
STORE 4" OF RUNOFF FROM COLLECTED PORTION OF DRIVES, PARKING, HARDSCAPE,  
ROOF AREAS OF RESIDENTIAL UNITS #2, #3 & #4:  
STORAGE VOL. COLLECTED = 3,752 SQ.FT. x 4/12 = 1,249.4 CU.FT.  
TYPICAL DRYWELL : 12'-0" x 12'-0" x 6'-6" DEEP (BELOW OVERFLOW) STONE BED  
WITH 8'-0" DIA. x 5'-6" DEEP (BELOW OVERFLOW) PRECAST CONC. SEEPAGE TANK  
DISPLACEMENT VOL. OF SEEPAGE TANK:  
 $\pi \times r^2 \times h = \pi \times (4')^2 \times 5.5 = 276.5 \text{ cu.ft.}$   
STORAGE VOL. OF SEEPAGE TANK:  
 $\pi \times r^2 \times h = \pi \times (3.67')^2 \times 5.5 = 232.7 \text{ cu.ft.}$   
VOL. OF STORAGE BED =  $1 \times w \times h = 12.0 \times 12.0 \times 6.5 = 936.0 \text{ cu.ft.}$   
STORAGE VOL. OF STONE BED:  
(VOL. STONE - DISP. VOL. TANK) x 0.40 VOIDS = (936.0 - 276.5) x 0.40 = 263.8 CU.FT.  
STORAGE VOLUME OF DRYWELL:  
BED VOL. + TANK VOL. = 263.8 + 232.7 = 496.5 CU.FT./DRYWELL  
DRYWELLS REQUIRED : STORAGE VOL. REQUIRED/STORAGE VOL. DRYWELL  
1,249.4 CU.FT./496.5 CU.FT. = 2.52  
THEREFORE USE THREE (3) DRYWELLS

HARDSCAPE COLLECTING INTO  
DRYWELL BANK #A1 & #A2



7,405 SF

HARDSCAPE COLLECTING INTO  
DRYWELL BANK #B



1,807  
1,142  
386  
176  
129  
40  
40  
16  
3,752



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (ie. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.)
3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
5. TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE SE&SC STANDARDS.
6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF THE SLOPE.
10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
14. ALL DEWATERING OPERATIONS MUST DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE SE&SC STANDARDS.
15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN-OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL PRECLUDE WHEN COMPLETED WORK IS APPROVED BY THE TOWNSHIP ENGINEER.
17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
18. HARDING TOWNSHIP MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
19. THE HARDING TOWNSHIP ENGINEER MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND A PRE-CONSTRUCTION MEETING HELD.
20. THE HARDING TOWNSHIP ENGINEER MUST BE NOTIFIED AT LEAST 72 HOURS PRIOR TO INSTALLATION OF DRYWELLS OR ROOF DRAIN PIPING THE CONTRACTOR WILL ADD ADDITIONAL SOIL EROSION & SEDIMENT CONTROL MEASURES AS DIRECTED BY THE TOWNSHIP ENGINEER.
21. APPROPRIATE SAFETY MEASURES SHALL BE TAKEN ABOVE RETAINING WALLS AS DIRECTED BY THE TOWNSHIP ENGINEER.
22. TOPSOIL STOCKPILE PROTECTION

- a. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF.
- b. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
- c. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
- d. MULCH STOCKPILE WITH STRAW OR HAY AT RATE OF 90 LBS./1000 S.F.
- e. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- f. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
23. TEMPORARY STABILIZATION SPECIFICATIONS
- a. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF.
- b. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
- c. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
- d. MULCH STOCKPILE WITH STRAW OR HAY AT RATE OF 90 LBS./1000 S.F.
- e. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
24. PERMANENT STABILIZATION SPECIFICATIONS
- a. APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
- b. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF. AND WORK FOUR INCHES INTO SOIL.
- c. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
- d. APPLY HARD FESCUE SEED AT 2.7 LBS./1000 S.F. AND CREEPING RED FESCUE SEED AT 0.7 LBS./1000 S.F. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS./1000 S.F.
- e. MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F.
- f. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

DUST CONTROL NOTES

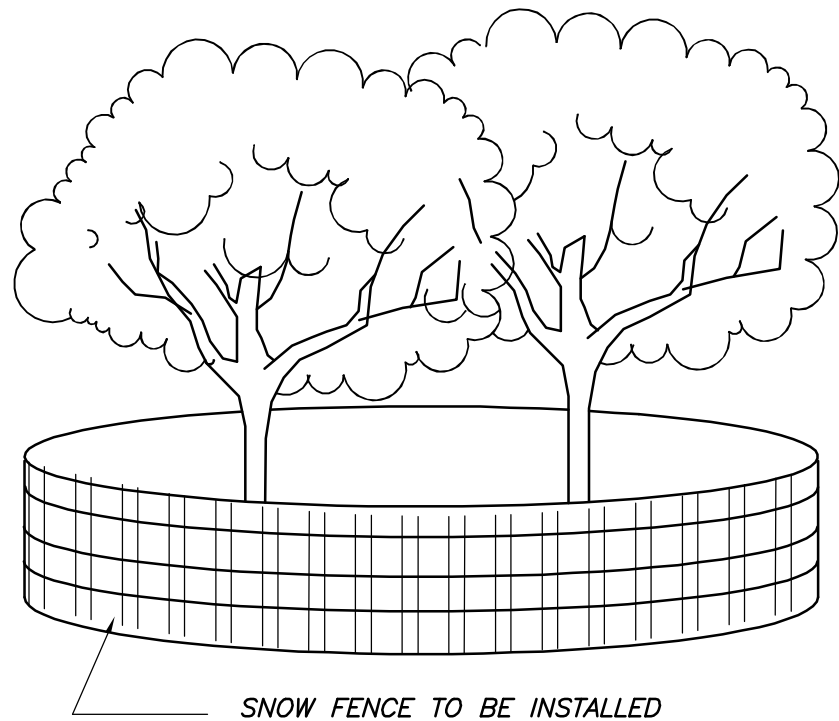
- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
1. MULCH - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY (SE&SC IN NJ, #5, JULY 1999) .
2. VEGETATIVE COVER - SEE STANDARD FOR : TEMPORARY VEGETATIVE COVER (SE&SC IN NJ, #7, JULY 1999), AND PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (SE&SC IN NJ, #4, JULY 1999) AND PERMANENT STABILIZATION WITH SOD (SE&SC IN NJ, #6, JULY 1999).
3. SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. SEE SE&SC IN NJ, #16, JULY 1999, FOR DUST CONTROL ADHESIVES.
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE BEFORE SOIL BLOWING STARTS. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
7. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

THE FOLLOWING SITE WORK INSPECTIONS ARE REQUIRED BY HARDING TOWNSHIP :

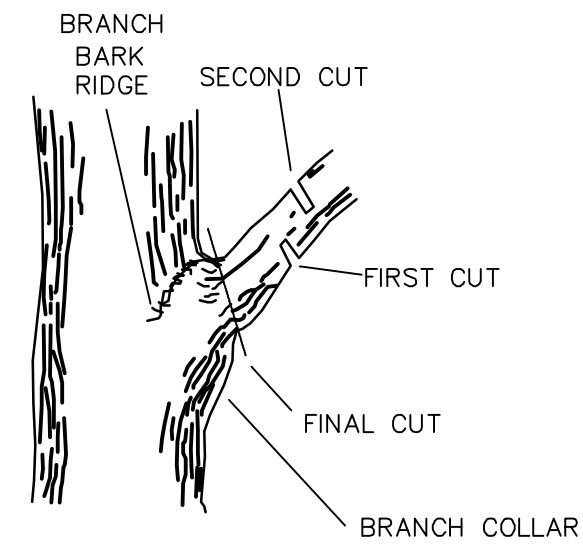
1. CONSTRUCTION & SILT FENCE AFTER INSTALLATION
2. DRYWELL EXCAVATION SUBSOILS (BEFORE SAND,STONE OR CHAMBER INSTALLATION)
3. DRYWELL SYSTEM(AFTER SAND,STONE AND CHAMBER INSTALLATION, BEFORE BACKFILL)
4. ROOF DRAIN PIPES, SEWER LINE AND OTHER DRAINAGE PIPES(BEFORE BACKFILL)
5. SEPTIC SYSTEM INSTALLATION
6. SITE GRADING (BEFORE VEGETATIVE STABILIZATION)
7. FINAL (AFTER STABILIZATION)

SEQUENCE OF CONSTRUCTION

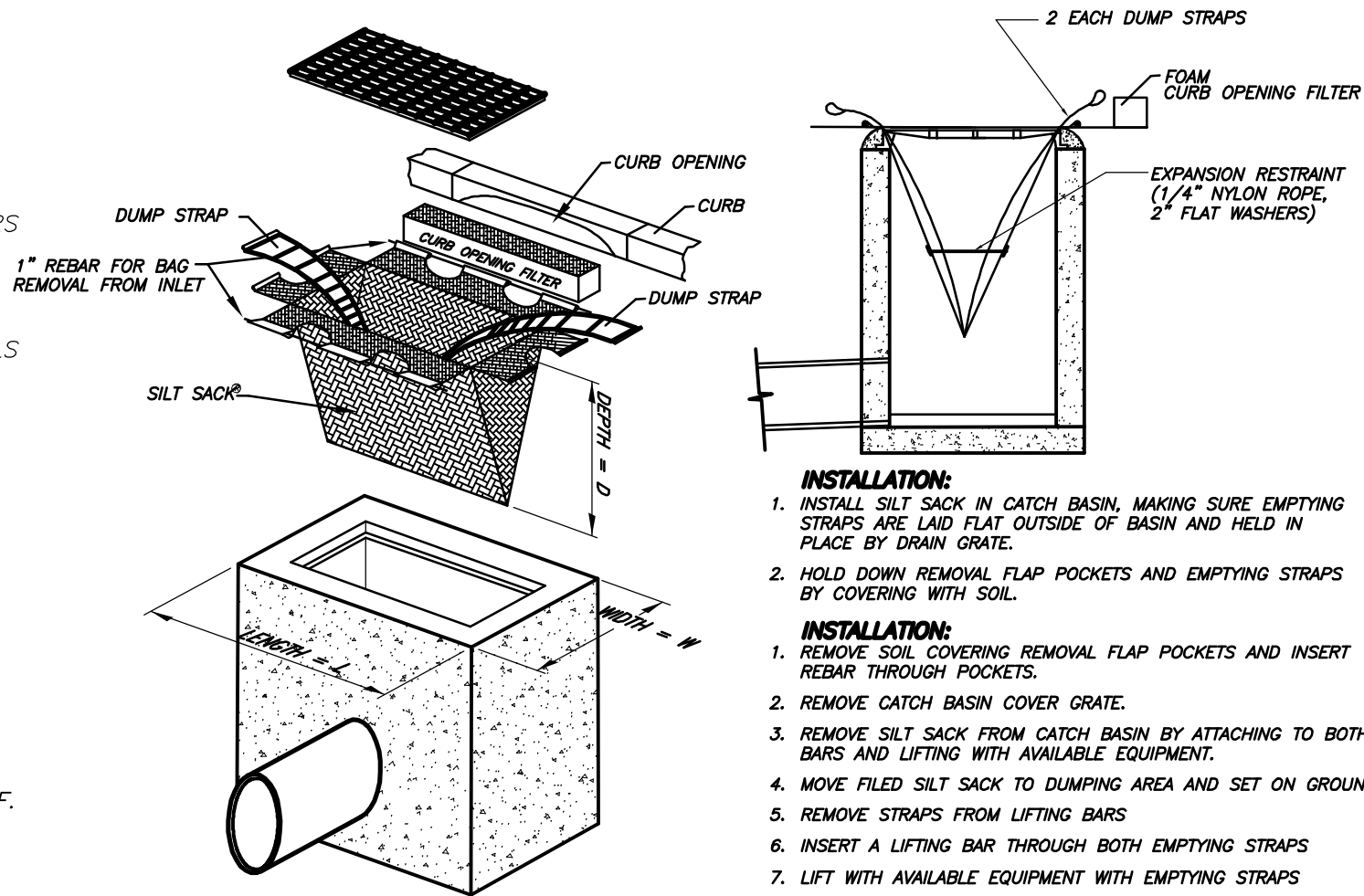
1. NOTIFY MUNICIPAL ENGINEER, HARDING TOWNSHIP CONSTRUCTION AND HEALTH DEPARTMENT 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. INSTALL ANTI-TRACKING PAD/WHEEL CLEANING BLANKET AT ACCESS POINT. 1 day
3. INSTALL SILT FENCE ALONG LINES AS INDICATED. 2 days
4. TREE REMOVAL, CLEARING AND STRIPPING OF DISTURBED AREAS. STOCKPILE TOPSOIL. ROUGH GRADE SITE. 2 weeks
5. CONSTRUCTION OF BUILDINGS w/ SITE IMPROVEMENTS. 9 months
6. INSTALL STORMWATER MANAGEMENT MEASURES & SEPTIC SYSTEM. INSTALL INLET PROTECTION. INSTALL UNDERGROUND UTILITIES. 1 month
7. FINE GRADING. SCARIFY SUBGRADE SOILS TO A DEPTH OF 6" PRIOR TO THE APPLICATION OF TOPSOIL. MULCH AND SEED. 1 week
8. INSTALL FINAL PAVEMENT COURSE. 2 days
9. REMOVE SILT FENCE & SESC MEASURES WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED. 2 days



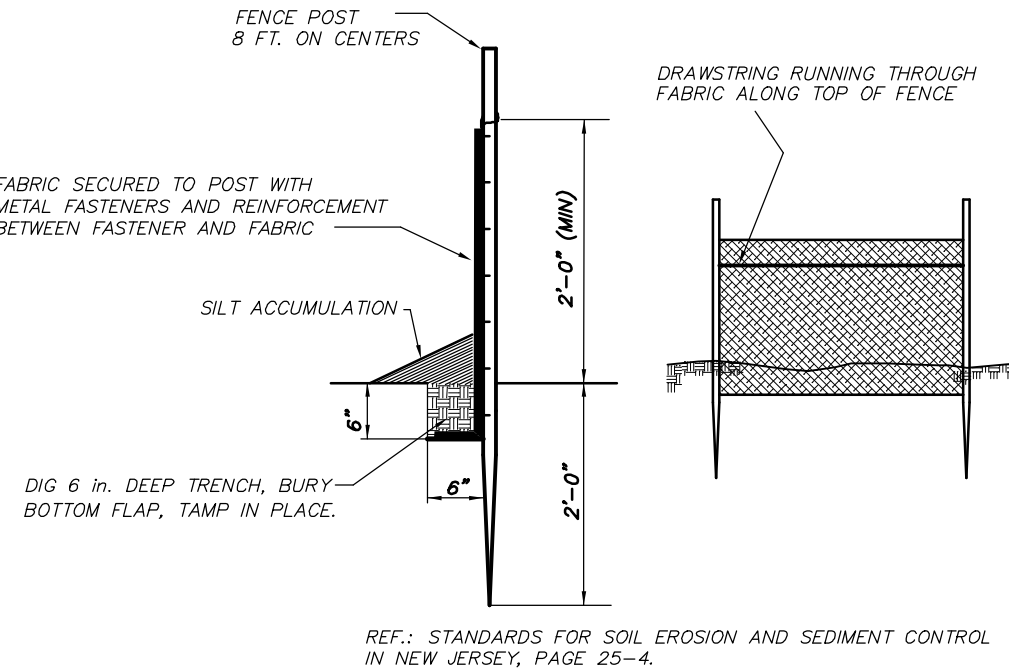
TREE PROTECTION DETAIL  
NOT TO SCALE



TREE LIMB REMOVAL  
NOT TO SCALE

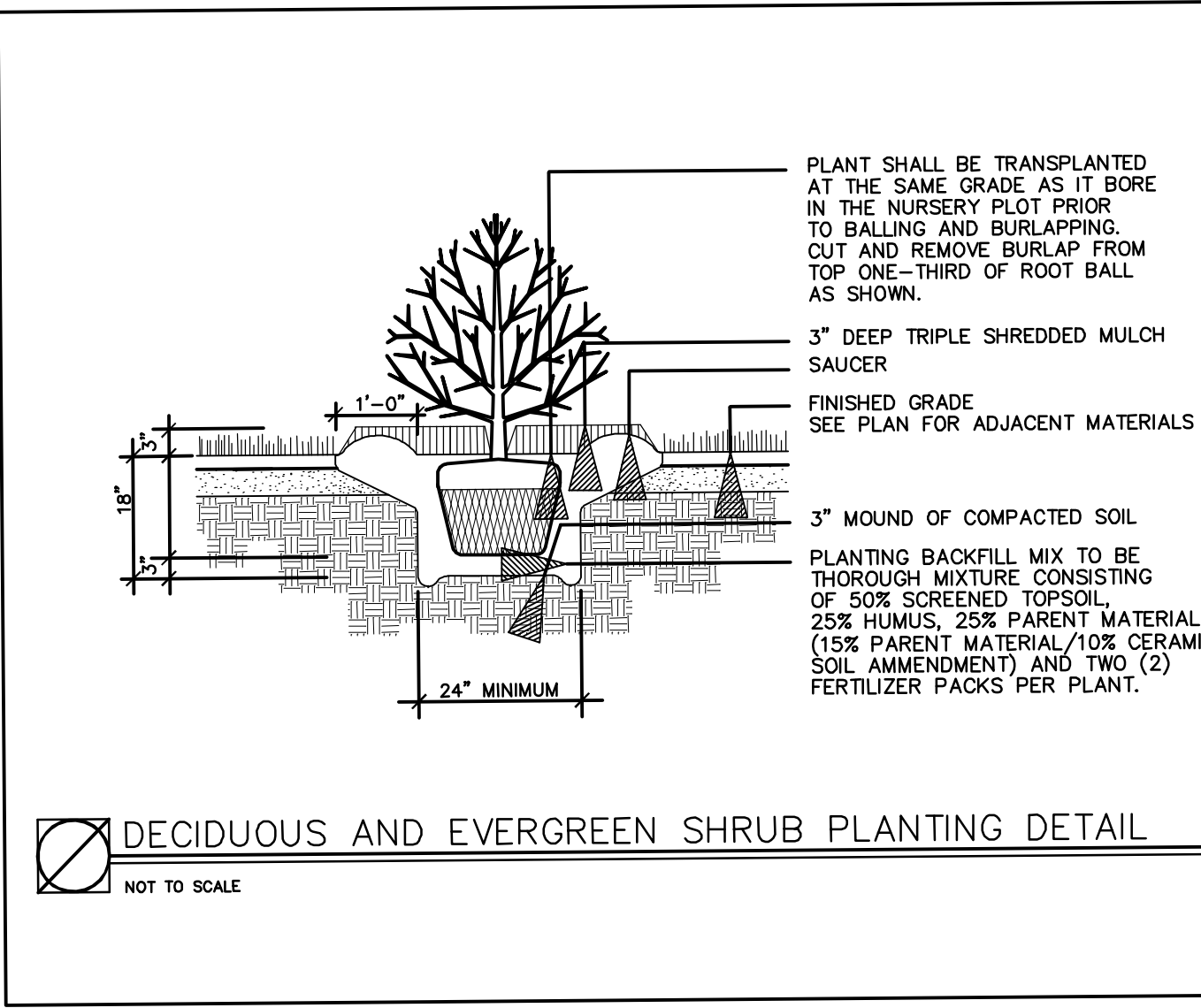


CATALOG NUMBER - SILT02X04  
ACF ENVIRONMENTAL-2031 CARDWELL ROAD-RICHMOND, VIRGINIA 23234-(800) 448-3636  
DRAINAGE INLET AND  
CATCH BASIN SILT FILTERING SYSTEM  
NOT TO SCALE

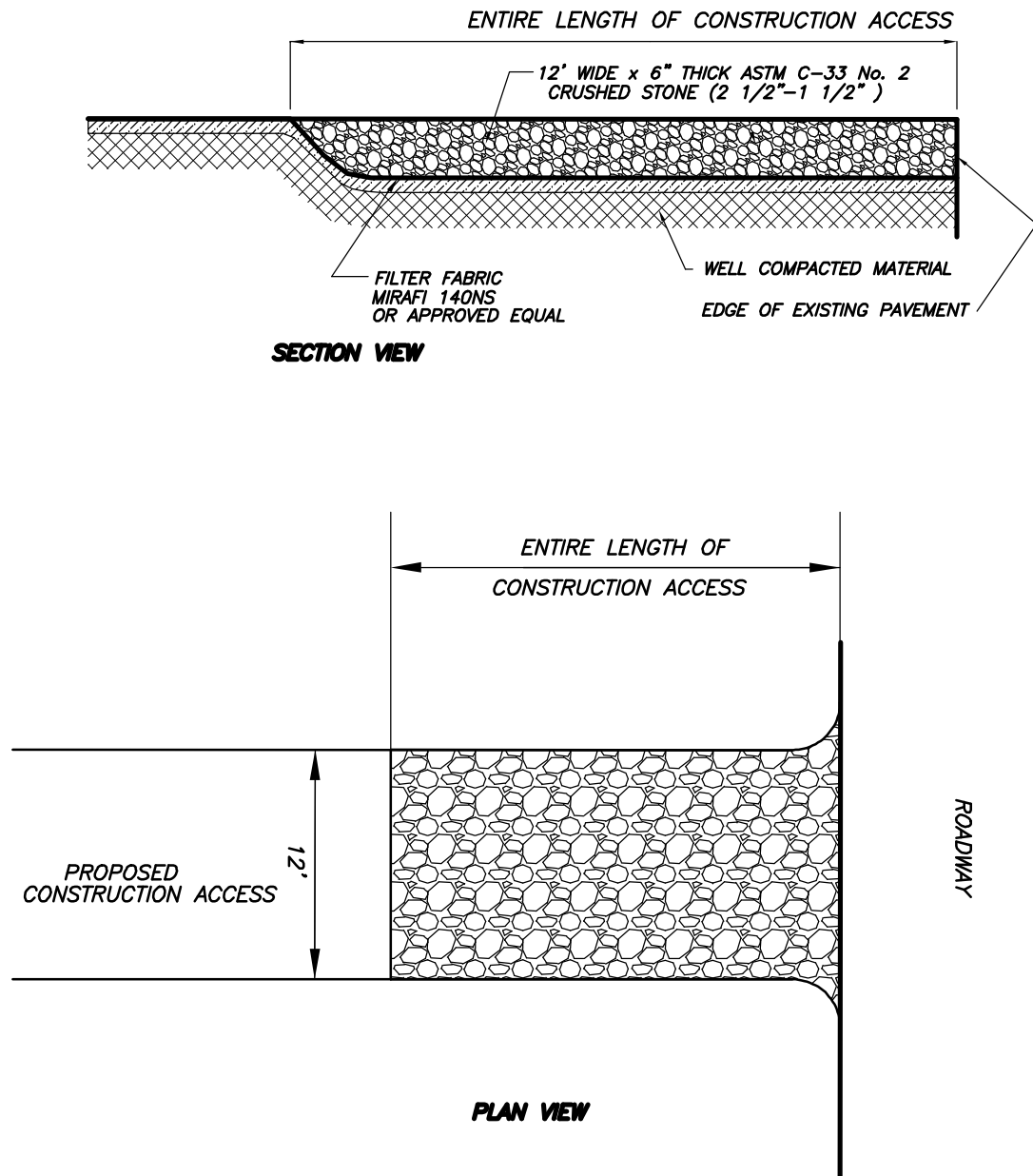


REF.: STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL  
IN NEW JERSEY, PAGE 25-4.  
REQUIREMENTS FOR SILT FENCE:  
(1). FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.  
(2). A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. IT MUST BE FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.  
(3). A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH-STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.). PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE.

SILT FENCE DETAIL  
NOT TO SCALE



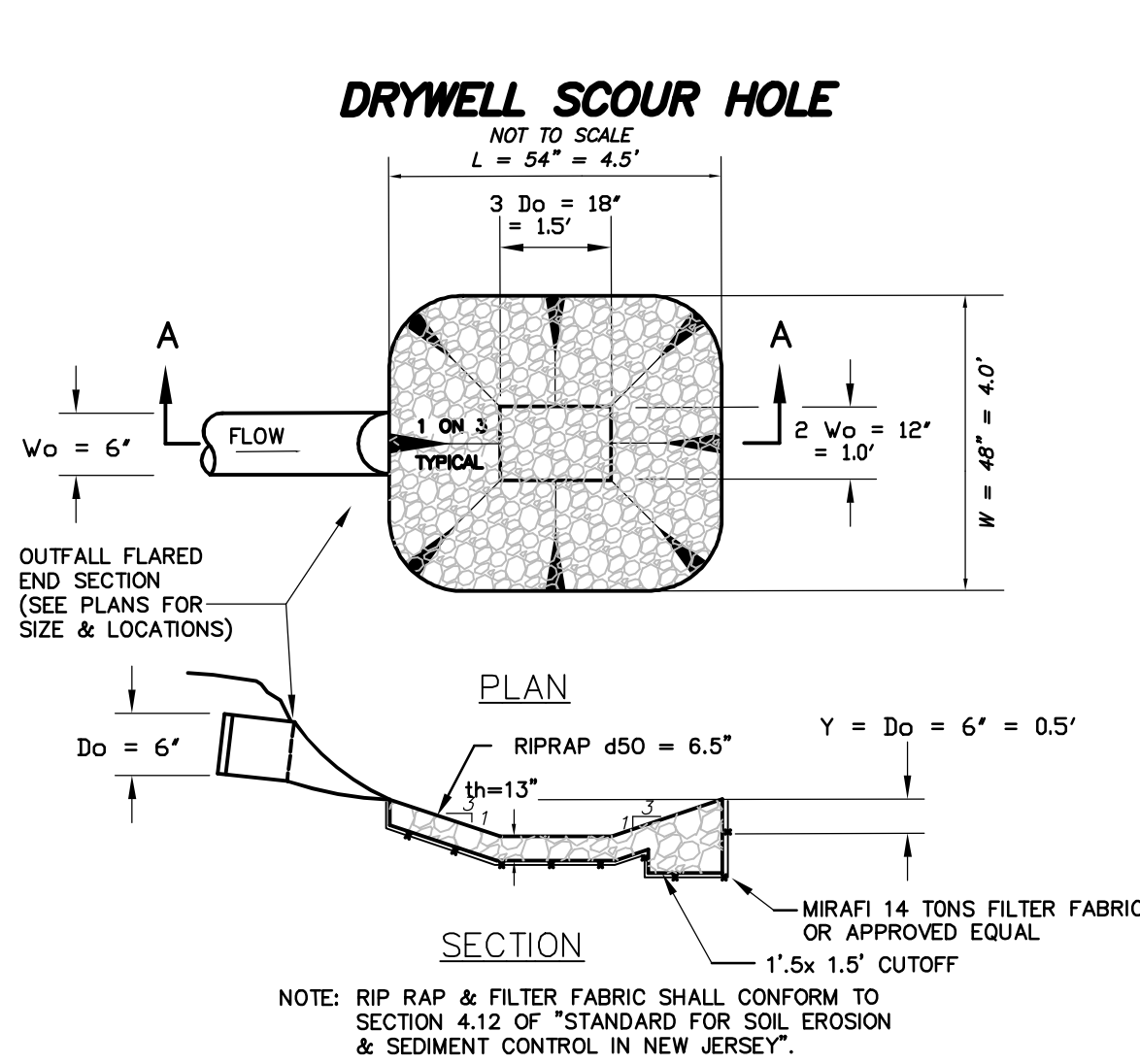
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL  
NOT TO SCALE



STABILIZED CONSTRUCTION ACCESS  
NOT TO SCALE

LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

| PERCENT SLOPE OF ROADWAY | LENGTH OF STONE REQUIRED                        |                    |
|--------------------------|---|--------------------|
|                          | COARSE GRAINED SOILS                            | FINE GRAINED SOILS |
| 0 TO 2%                  | 50 FT.  | 100 FT.            |
| 2 TO 5%                  | 100 FT.   | 200 FT.            |
| >5%                      | ENTIRE SURFACE STABILIZED WITH FABC BASE COARSE |                    |



DRYWELL SCOUR HOLE CALCULATIONS

COMBINED AREAS DIRECTED TO DRYWELL BANKS = 11,157 SQ. FT.

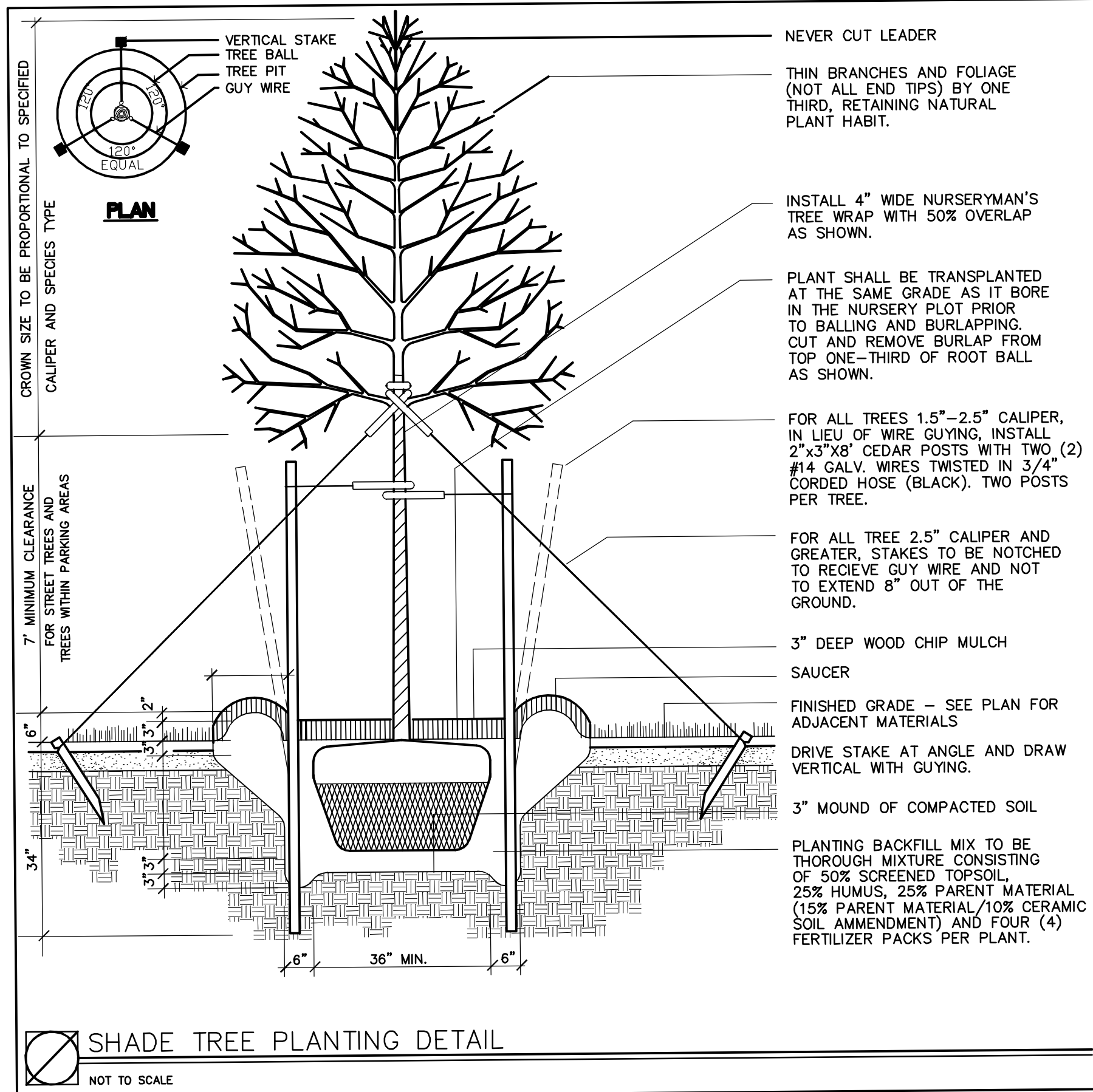
Q10=C\*H^A  
C= 0.99, i=5.8, A=11,157 SF = 0.256 ACRES  
Q10 = 0.99 \* 5.8 \* 0.256 = 1.47 CFS

Q100=C\*H^A  
C= 0.99, i=8.0, A=11,157 SF = 0.256 ACRES  
Q100 = 0.99 \* 8.0 \* 0.256 = 2.03 CFS

QFULL (MANNING'S FORMULA) = A \* 1.486/n \* R^(2/3) \* S^(1/2)  
A=0.196 SF, n=0.01 (PVC), R=1/16=0.125, S=0.08 FT/FT  
QFULL = 0.196 \* 1.486/0.01 \* (0.125)^(2/3) \* (0.08)^(1/2) = 2.06 CFS

d50 = (0.0082 / Tw ) q^(1/3)  
where Tw = 0.2 Do = 0.2(0.5')= 0.1 FT.  
where q = QFULL/Do = 2.06 cfs / 0.5 ft. = 4.12 cfs/ft  
so, d50 = (0.0082 / 0.1 ) 4.12^(1/3)  
= 0.54 FT. ~ 6.5 INCHES.

th = 2(d50) with filter fabric  
th = 13 INCHES w/ FILTER FABRIC



SHADE TREE PLANTING DETAIL  
NOT TO SCALE



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 246A27934500

DATE: 3/4/24  
RYAN L. SMITH  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

1 3/4/24 REISSUE  
NO. DATE REVISION

PROJECT TITLE :

15 VILLAGE ROAD  
LLC PROJECT  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :

SOIL EROSION &  
SEDIMENT CONTROL  
DETAIL SHEET

DRAWN BY: CF  
DATE: 11/9/23

CHECKED BY: RLS  
SCALE: AS SHOWN

W.D. 220159

F.B. ----

FILE:

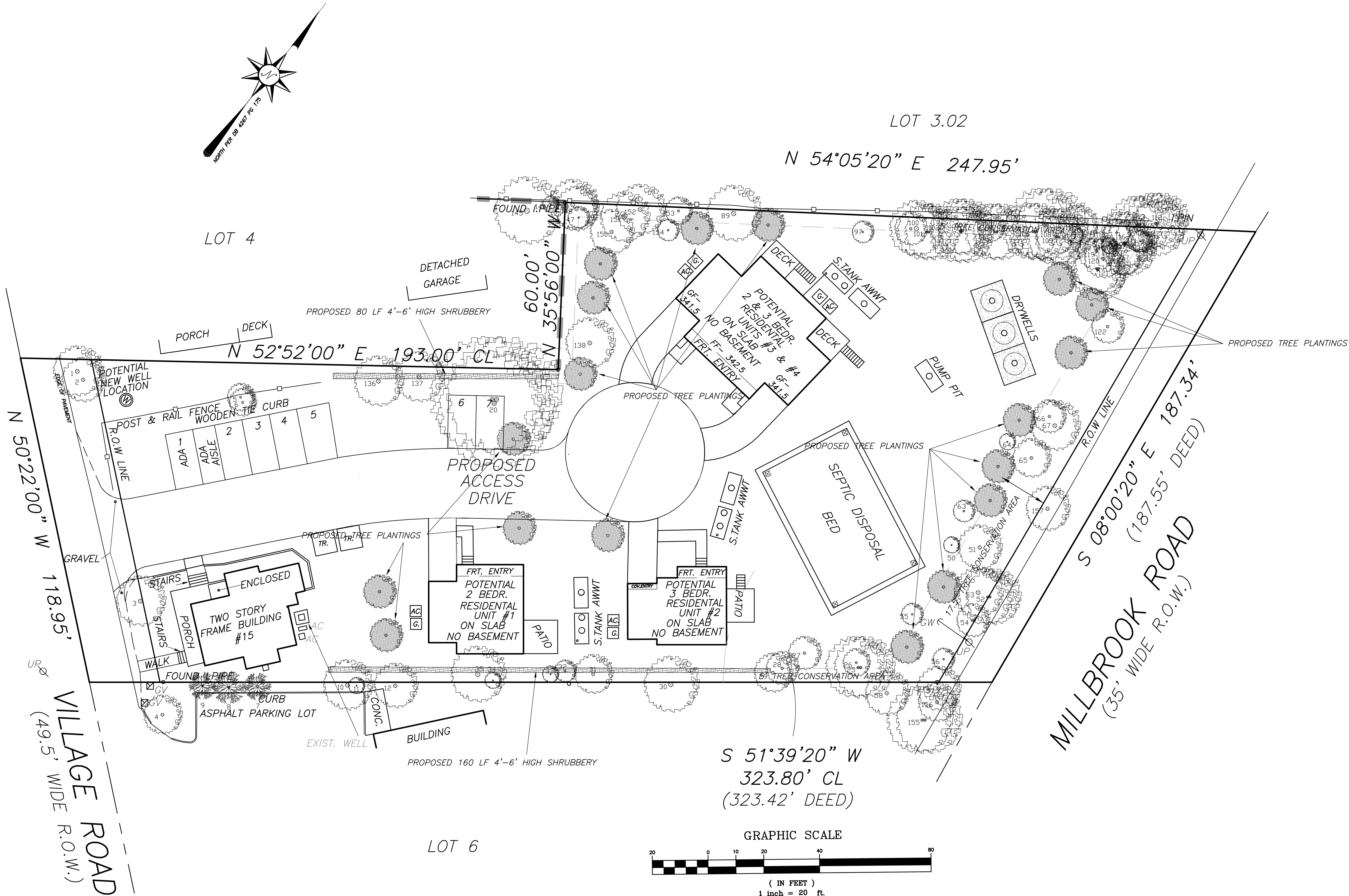
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# MASTER TREE SCHEDULE

| NO. | DESCRIPTION         |
|-----|---------------------|
| 1   | 18" MAPLE           |
| 2   | 18" MAPLE           |
| 3   | 18" TREE            |
| 4   | 18" TREE            |
| 5   | 10" CRAB APPLE      |
| 6   | 10" CEDAR           |
| 7   | TRIPLE 12" CEDAR    |
| 8   | TRIPLE 10" CEDAR    |
| 9   | 18" MAPLE           |
| 10  | 18" MAPLE           |
| 11  | 18" MAPLE           |
| 12  | 30" MAPLE           |
| 13  | 18" MAPLE           |
| 14  | 18" LOCUST          |
| 15  | 18" MAPLE           |
| 16  | 30" MAPLE           |
| 17  | 6" MAPLE            |
| 18  | 18" WALNUT          |
| 19  | TRIPLE 42" MAPLE    |
| 20  | 6" MAPLE            |
| 21  | 10" LOCUST          |
| 22  | TWIN 20" MAPLE      |
| 23  | TWIN 14" ASH (DEAD) |
| 24  | TWIN 22" MAPLE      |
| 25  | 10" MAPLE           |
| 26  | 12" MAPLE           |
| 27  | 14" CHERRY          |
| 28  | 20" MAPLE           |
| 29  | 14" MAPLE           |
| 30  | 8" MAPLE            |
| 31  | 8" MAPLE            |
| 32  | 8" MAPLE            |
| 33  | 8" MAPLE            |
| 34  | 20" MAPLE           |
| 35  | 8" MAPLE            |
| 36  | 8" MAPLE            |
| 37  | 8" MAPLE            |
| 38  | 14" LOCUST          |
| 39  | 14" LOCUST          |
| 40  | 12" LOCUST          |
| 41  | 8" LOCUST           |
| 42  | 18" ASH (DEAD)      |
| 43  | 8" WALNUT           |
| 44  | 8" MAPLE            |
| 45  | 8" MAPLE            |
| 46  | TWIN 16" CHERRY     |
| 47  | 12" OAK             |
| 48  | 8" OAK              |
| 49  | 18" OAK             |
| 50  | 18" OAK             |
| 51  | TWIN 20" MAPLE      |
| 52  | 18" MAPLE           |
| 53  | 12" OAK             |
| 54  | 8" OAK              |
| 55  | 8" MAPLE            |
| 56  | 18" MAPLE           |
| 57  | TWIN 14" MAPLE      |
| 58  | 18" MAPLE           |
| 59  | 18" MAPLE           |
| 60  | 8" OAK              |
| 61  | 14" WALNUT          |
| 62  | 12" WALNUT          |
| 63  | 18" ASH (DYING)     |
| 64  | 18" WALNUT          |
| 65  | 12" MAPLE           |
| 66  | 18" MAPLE           |
| 67  | 14" MAPLE           |
| 68  | 12" LOCUST          |
| 69  | 12" LOCUST          |
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| 157 | 12" LOCUST          |

NOTE: 79 TREES ARE TO BE REMOVED  
NOTE: 18 NEW TREES ARE TO BE PLANTED  
ALONG WITH APPROXIMATELY 240 LF OF SHRUBBERY  
ALONG COMMON LOT LINES AS INDICATED.



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 246A27934500

*Ryan L. Smith* 3/4/24  
**RYAN L. SMITH** DATE:  
NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

3/4/24 SHEET ADDED TO SET  
DATE REVISION

PROJECT TITLE :  
**15 VILLAGE ROAD  
LLC PROJECT**  
15 VILLAGE ROAD  
LOT 5 ~ BLOCK 18  
TOWNSHIP OF HARDING  
MORRIS COUNTY, NEW JERSEY

SHEET TITLE :  
**LANDSCAPE  
PLAN**

DRAWN BY: JFW/FLS DATE: 3/4/24

CHECKED BY: FLS SCALE: 1" = 20'

W.D.

F.B.

FILE:

COMP FILE:  
M:SEPTIC/.../220159/BOASitePlan\_rev1.dwg